



Planning and Zoning Board Agenda

September 30, 2025

Room 102 – 7:00 P.M.

Call to Order and Roll Call

Approval of Minutes: September 9, 2025 PZB Meeting

Public Comment: For matters not on the agenda

General Communications:

1. September 15, 2025 City Council meeting results: 1173 Elmhurst Rd – CU for Assembly Use – Approved at 1st reading
2. Notice of Cancellation of October 14, 2025 PZB Meeting

Administrative Decisions:

- 25-050-V – 2331 Bellaire Ave – Minor Variation to allow a 6-foot-tall solid fence within the front yard of a double frontage lot not abutting an arterial roadway. – Approved
- 25-054-LA – 1466 Webster Lane – License Agreement to allow pavers instead of concrete in the public right-of-way – Approved

Pending Applications:

1. **Addresses:** 9535, 9575, 9585, and 9601 E. Golf Road **Case Number:** 25-046-TPLAT-PPUD

Continuance Requested to the November 4, 2025 PZB meeting

The petitioner requests the following: i) a Tentative Plat of Subdivision to consolidate nine lots into one lot; ii) a Preliminary Planned Unit Development with a height, lot area, and required off-street parking exception for a proposed multifamily residential and single family attached residential development; and iii) any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-16-201-011-0000, 09-16-201-014-0000, 09-16-201-013-0000, 09-16-201-016-0000, 09-16-201-015-0000, 09-16-201-003-0000, 09-15-100-033-0000, 09-15-100-032-0000, 09-15-100-035-0000

Petitioner/Owner: EFN Des Plaines Property LLC, One Oakbrook Terr., Ste 600, Oakbrook Terrace, IL 60181

2. **Addresses:** 1655 & 1695 S. Des Plaines River Road **Case Number:** 24-053-FPLAT

The applicant requests a Final Plat of Subdivision to consolidate the existing two lots into one lot of record, and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-28-107-008-0000; 09-28-107-009-0000

Applicant/Owner: Brickton Montessori (Representative: Erica Lane, 8622 W. Catalpa Ave, Chicago, IL 60656)

Adjournment

Next Agenda: Next meeting is Tuesday, October 28, 2025.

Persons with disabilities who require certain accommodations in order to observe or participate in a public meeting or have questions about the accessibility of the public meeting should contact the ADA Coordinator at least 48 hours (or two business days) in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 1420 Miner St., Des Plaines, IL; by telephone at (847) 391-5486; or by email at hr@desplainesil.gov. Notices of this meeting were posted in accordance with the requirements of 5 ILCS 120/1 et. Seq. (Open Meetings Act)



**DES PLAINES PLANNING AND ZONING BOARD MEETING
Tuesday, September 9, 2025
MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, September 9, 2025, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chairman Szabo called the meeting to order at 7:00 p.m. and a roll call was established.

PRESENT: Szabo, Fowler, Veremis, Catalano, Fallico, Zadrozny
ABSENT: Weaver
ALSO PRESENT: Samantha Redman, Senior Planner
Jeff Rogers, Director of CED
Jonathan Mendel, Assistant Director of CED

A quorum was present.

APPROVAL OF AUGUST 26, 2025 PZB MEETING MINUTES

Member Fallico moved and Member Catalano seconded a motion to approve the minutes as presented.

AYES: Fallico, Catalano, Zadrozny & Szabo
NAYS: None
ABSTAIN: Fowler & Veremis

MOTION CARRIED

PUBLIC COMMENT ON NON-AGENDA ITEM

There was no public comment.

GENERAL COMMUNICATIONS:

Chairman Szabo outlined the results of the September 2, 2025 City Council meeting regarding the PZB cases that were reviewed:

- 1634 E. Oakton St. – CU for Trade Contractor – Approved at 2nd reading
- Text Amendments to Section 12-3-11 Related to Building Design Review Standards for Single-Family and Two-Family Residences – Approved at 1st & 2nd reading
- Major Variations for Site Landscaping at 555 Howard Avenue – Approved at 1st & 2nd reading

ADMINISTRATIVE DECISIONS:

Chairman Szabo noted there were no final Administrative Decisions available for this agenda.

Pending Applications:

Chairman Szabo introduced the cases on the agenda.

- 1. Addresses:** 9535, 9575, 9585, and 9601 East Golf Road – **Request Continuance to September 30, 2025 PZB meeting**

Case Number: 25-046-TPLAT-PPUD

The petitioner requests the following: i) a Tentative Plat of Subdivision to consolidate nine lots into one lot; ii) a Preliminary Planned Unit Development with a height, lot area, and required off-street parking exception for a proposed multifamily residential and single family attached residential development; and iii) any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-16-201-011-0000, 09-16-201-014-0000, 09-16-201-013-0000, 09-16-201-016-0000, 09-16-201-015-0000, 09-16-201-003-0000, 09-15-100-033-0000, 09-15-100-032-0000, 09-15-100-035-0000

Petitioner/Owner: EFN Des Plaines Property LLC, One Oakbrook Terr., Ste 600, Oakbrook Terrace, IL 60181

Chairman Szabo outlined the request to continue to the September 30, 2025 PZB meeting and asked for a motion. Staff clarified the agenda misstated October 28, 2025 as the requested continuance date, but the correct date is September 30, 2025.

Member Catalano moved and Member Fowler seconded a motion to approve a continuance to the September 30, 2025 PZB meeting

AYES: Fallico, Catalano, Zadrozny, Fowler, Veremis & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

- 2. Address:** 2200 E Golf Rd **Case Number:** 25-047-FPUD

The petitioner requests a Final Planned Unit Development with a height exception for a proposed Assisted Living Facility, and any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-09-402-010-0000

Petitioner: Heritage Woods Northwest LLC, 1016 W. Jackson Blvd, Chicago, IL 60607

Owner: RJB-II LP and First American Self-Storage Group, LLC, 1731 N. Marcey St., #200, Chicago, IL 60614

Chairman Szabo swore in the petitioner's representatives – Robert Helle, Bernie Citron, Developer, Jane Sloss & Judd Barron.

Robert Helle outlined the public meeting history for this project to date and mentioned that the major issue in the preliminary PUD stage surrounded building exterior materials and design. Mr. Helle then read from the current staff report confirming that the building plans submitted for the Final PUD request are fully compliant with the building design standards.

Jane Sloss (architect with WJW Architects) represented the petitioner. Ms. Sloss outlined the final PUD plans' changes that occurred since the June 2025 City Council PPUD and Conditional Use approved. She outlined that they reconfigured the loading and trash enclosure to be fully screened from adjacent streets, east parking area is double loaded to maintain the number of parking spaces while reducing the impervious area, and additional landscaping was added throughout the site for the enjoyment of the residents and the adjacent properties. The building facades and design are compliant, and the overall development remains consistent with the PPUD. The intent with the exterior building design was an inviting residential look with base, sills and multiple materials and colors.

Chairman Szabo asked for PZB member questions and there were none.

Senior Planner Samantha Redman presented the staff analysis.

Issue: The petitioner requests a Final Planned Unit Development (PUD) with an exception for height from 45 feet to 50.5 feet.

Petitioner: Heritage Woods Northwest LLC, 1016 W. Jackson Boulevard., Chicago, IL 60607

Owner: RJB-11 LP & First American Self-Storage Group, LLC, 1731 N. Marcey Street, Suite 200, Chicago, IL 60614

Case Number: 25-047-FPUD

PIN: 09-09-402-010-0000

Ward: #1, Alderman Margaret Chlebek

Existing Zoning: R-3, Townhouse Residential

Existing Land Use: Surface parking lot and undeveloped land

Surrounding Zoning: North: R-3, Townhouse Residential
South: R-1, Single Family Residential

East: R-3, Townhouse Residential; C-3, General Commercial District
West: P1, Public Land District (Unincorporated Cook County)

Surrounding Land Use: North: Multifamily Building (The Monarch)
South: Forest preserve
East: Undeveloped land
West: Forest preserve

Street Classification: Golf Road is classified as a principal arterial road and is under the jurisdiction of the Illinois Department of Transportation (IDOT). N. East River Road is classified as local road and is under the jurisdiction of Cook County.

Comprehensive Plan: “Multi-Family Residential” is the use illustrated in the Comprehensive Plan.

Property History: In 1984, this site was annexed into the city (Ordinance A-2-83) and the building for the United Stationers Corporate Headquarters was constructed. This building was occupied by the United Stationers until approximately 2007. The building was demolished in 2009, and the site has remained vacant for approximately fourteen years.

Project Summary: *Overview*

The petitioner, Heritage Woods Northwest LLC, is the contract purchaser of 2200 E. Golf Road. On June 2, 2025, the City Council granted preliminary approval for a Planned Unit Development (PUD) and Conditional Use for a 150-unit assisted living facility. The proposed building footprint is approximately 32,000 square feet and will include three residential floors above one floor of resident amenities. The site plan provides 150 sleeping units, an 80-space parking lot with loading/unloading areas, and a large detention basin on the east side of the property. The building is designed around a central courtyard, with landscaping and walkways throughout the site for residents and staff. Refer to Site Plan in the attachments.

The Conditional Use for the assisted living facility was approved with the Preliminary PUD, subject to conditions outlined in Ordinance Z-12-25. These include updating the property address, coordinating regularly with the Fire Department, maintaining a private ambulance contract for non-emergent calls, and providing a private resident transportation option. At the final City Council meeting, two additional conditions were added: compliance with the Zoning Ordinance’s Building Design Standards and a \$200,000 donation to the City toward the purchase of an ambulance or related equipment or programs. All conditions remain in effect and will be enforced at the time of operation.

Concurrence with Preliminary Plat

Pursuant to Section 12-3-5.D.3,

“Approval of a preliminary plat for a planned unit development shall not constitute approval of the final plat. Rather it shall be deemed an expression of approval of the layout submitted on the preliminary plat as a guide to the preparation of the final plat, which shall be submitted by the developer not later than 12 months after approval of the preliminary plat. The final plat shall be

approved as the final land use and zoning plat if it conforms with the preliminary land use and zoning plat.”

The Final PUD Plat, including final engineering plans, has been reviewed by staff. Refer to PUD Plat attachments. The proposal is consistent with the preliminary plans and includes the height exception acknowledged in Ordinance Z-12-25, which granted preliminary approval. This exception, permitted under Section 12-3-5, grants relief from the maximum height allowed in the R-3 district. No additional exceptions have been requested.

Streets, Parking and Access

Access will continue to be provided to this property through the existing full-access driveway along Golf Road to the southwest of the property. Additional access points will connect to the existing multifamily development to the north, The Monarch. Per the petitioner, easement and access agreements already exist allowing for this connection from the proposed development. No driveways will open to N. East River Road.

Pursuant to Section 12-9-7, assisted living facilities require 1 space for each 5 beds, plus 2 spaces for every 3 employees. The proposed plan provides 80 standard spaces, and four accessible spaces will be provided, which will exceed the minimum required off-street parking requirement for this use. A condition of the approved Conditional Use ordinance states a private transportation option must be available to residents throughout the operation of this use, to ensure adequate access to services is provided for a site with minimal public transportation access.

Prior to approval of the Conditional Use, a Traffic Impact Study was submitted and reviewed. The report stated the combination of the existing traffic volume and the predicted increase generated by this site could be accommodated by the existing street network and intersections without affecting the Level of Service (LOS) on any adjacent streets. Refer to the Traffic Impact Study attachment for information regarding traffic related to this use. The Public Works and Engineering Department (PWE) reviewed the traffic study and did not indicate specific concerns regarding its findings.

PUD Bulk Exceptions

As identified in the Project Overview section, the proposal exceeds the maximum height permitted in the R-3 zoning district, requiring PUD exceptions from Section 12-3-5.C. All bulk exceptions, including required yards, are met except for the height. A height of 50'-6" is requested, which is taller than the permitted 45 feet in this zoning district. This exception allowing for increased height for a PUD reduces the overall building footprint by allowing for increased development vertically rather than horizontally and allowing for a pitching of the roof to create a more residential appearance to the building.

Building Materials

At the June 12, 2025 meeting, the Council added a condition to the approved Preliminary PUD ordinance stating the development must comply with Section 12-3-11 – Building Design Standards. The plans within the Final PUD submitted are fully compliant with this requirement, including the required amount of masonry on the exterior facades.

Construction Schedule and Phasing Plan

The petitioner has submitted a construction schedule as required by Section 12-3-5.H, refer to the Construction Schedule attachment. The building will be constructed in one phase, with a projected start date of March 2026 and construction end date of May 2027, with project completion and opening in August 2027. A construction schedule is required pursuant Section 12-3-5.H, which authorizes the City Council to revoke the PUD if the construction falls more than 18 months behind the submitted construction schedule.

Pursuant to Section 12-3-5, the PZB may recommend approval when the following standards are met. The following standards were met with the Preliminary PUD and remain unchanged with the Final PUD.

Final PUD Plat Review	
<i>Item</i>	<i>Analysis (based on Proposal)</i>
A maximum choice in the types of environments available to the public by allowing a development that would not be possible under the strict application of the other sections of this title	Combined with the Conditional Use in the Preliminary PUD stage, this entitlement strategy was chosen to provide a streamlined process for requesting any exceptions, including the increased height, and to provide the ability for the PZB and City Council to engage in meaningful dialogue during the review process about the overall site plan.
Permanent preservation of common open space and recreation areas and facilities	The Final PUD plat includes proposed modifications along the gravel path along the south boundary of the property, to be determined after consultation with Public Works and Engineering, IDOT, and Cook County Forest Preserve. This path connects to a paved multi-use path along N. East River Road and connects to the forest preserve trail network to the west.
A pattern of development to preserve natural vegetation, topographic and geologic features	No significant natural vegetation, topographic or geologic features exist on site that would be beneficial to maintain. New landscaping is proposed throughout the development, reducing the amount of impervious surface currently located on the site.
A creative approach to the use of land and related physical facilities that results in better development and design and the construction of aesthetic amenities	The proposed building is constructed on a vacant property previously occupied by an office building. The new development will include significantly more landscaping than the previous development (Refer to Landscape Plan), and the residents will have access to an interior courtyard for recreation, as well as access to the forest preserve trail network adjacent to this property.

<p>An efficient use of the land resulting in more economic networks of utilities, streets and other facilities</p>	<p>No new driveways onto public streets are proposed, and all utilities will be placed underground. According to the petitioner’s traffic study (see attachments), the development is not expected to disproportionately impact traffic in the area. Compared to a traditional multifamily development, which is permitted by right in this zoning district, this use may generate less traffic, as most residents are not expected to rely on personal vehicles. Instead, the primary sources of site traffic will be employees, deliveries, and the shuttle service.</p>
<p>A land use which promotes the public health, safety, and general welfare</p>	<p>This development develops long-vacant land to serve the region’s growing senior population, addressing the need for specialized housing and services described in the Comprehensive Plan. While the nature of this use may increase demand on emergency services, the proposed conditions of approval may help mitigate potential impacts, ensuring continued service efficiency.</p> <p>Additionally, the development fully complies with fire code regulations, and its access design—maintaining the existing entrance and utilizing the internal road network connected to The Monarch development—supports safe and efficient emergency response. By providing housing and services tailored to seniors while maintaining adherence to safety standards, the project promotes public health, safety, and general welfare.</p>

Findings of Fact for Planned Unit Development:

Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the responses provided as written as its rationale, modify, or adopt its own.

1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5.A of this title:

The Planned Unit Development (PUD) process is available to any property owner seeking approval for a proposed project. PUDs are permitted in all zoning districts within the City, subject to the regulations outlined in Section 12-3-5 of the Zoning Ordinance. To qualify, a PUD must be under single ownership or unified control, and the petitioner intends to purchase the property after receiving necessary approvals.

2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

The proposal meets the ownership/unified control and size requirements in the Zoning Ordinance.

3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

The attached Petitioner's Response to Standards for Planned Unit Development provides their response to this standard.

Staff Comments: The proposal complies with the majority of bulk regulations outlined in Section 12-7-2.J of the Zoning Ordinance but requires an exception for building height. Specifically, the development seeks approval for a height of 50.5 feet, exceeding the 45-foot maximum permitted in the R-3 zoning district by 5.5 feet, or approximately 12%, with building setbacks of 53'-7" from north property line, 30'-1" from south property line, 167'-4" from the west property line, and 219'-1" from east property line.

This height exception may allow a more efficient building design, minimizing the development's overall footprint and allowing for a more residential style of the roof and architecture of the building. By slightly increasing the height, the project can provide necessary amenities, improved unit layouts, and enhanced accessibility features without requiring a larger building footprint, thereby preserving open space and reducing impervious surface coverage. Additionally, the proposed height is compatible with the surrounding built environment and does not create adverse impacts on adjacent properties.

4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

The attached Petitioner's Response to Standards for Planned Unit Development provides their response to this standard.

Staff Comments: The physical design of the proposed development provides adequate consideration for public services, vehicular traffic control, open space, and amenities such as light, air, recreation, and visual enjoyment. The project includes underground utilities, which reduces visual clutter and maintains the area's aesthetic quality. Vehicular access is provided through the existing full access driveway and an internal road network connecting to The Monarch development, which helps mitigate potential traffic impacts on surrounding public streets. According to the petitioner's traffic study, the development is not expected to result in a disproportionate impact on local traffic, with the primary sources of traffic being employees, deliveries, and shuttle service. The amount of landscaped area will be increased with this development, as illustrated in the Landscape Plan attachment.

5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

The attached Petitioner's Response to Standards for Planned Unit Development provides their response to this standard.

Staff Comments: The project is located within a zoning district that permits multifamily residential uses, and the petitioner has made efforts to align with the existing built environment. Access to the site is provided through an entrance and an internal road network connected to The Monarch development to the north, which minimizes disruption to surrounding streets and ensures efficient traffic flow. The height of the building is slightly above the district's maximum allowable height, but the design is intended to minimize visual impact and maintain adequate light and air circulation for surrounding properties.

The project also incorporates landscaping and open space amenities for residents, which contribute to the aesthetic value of the area and improve the visual appeal that has not existed for this vacant property since the building was demolished fourteen years ago. Overall, the proposed development is not expected to create adverse impacts on adjacent properties or the neighborhood.

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

The attached Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff comments: The proposal would provide additional housing stock that increases the tax base for the City and improve the economic well-being of Des Plaines. It would also provide extra economic benefit through utility and public service fees that are currently not eligible for the vacant property at this time.

7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

The attached Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff comments: The proposed use aligns with the housing goals and objectives of the 2019 Comprehensive Plan by increasing the housing stock and providing additional options for senior residents. While not a traditional multifamily development, the proposed use supports the Comprehensive Plan's vision for this property as a multifamily residential site. Additionally, the development advances several key goals, including pursuing high-quality housing for residents at all stages of life, particularly older adults; ensuring a diverse range of housing options to accommodate varying needs within the community; and planning for accessibility by creating a facility that, by its nature, must be accessible to older residents. By addressing these priorities, the

proposal contributes to the City's long-term vision for balanced and inclusive housing development.

PZB Procedure and Recommended Conditions: Under Section 12-3-5.D (Procedure for Review and Decision for Planned Unit Developments) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the Final Planned Unit Development. City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-5.E (Standards for Planned Unit Developments) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions.

Suggested Condition of Approval:

1. Prior to the issuance of a Certificate of Occupancy, the petitioner shall construct a walkway or pedestrian path along the southern boundary of the property, generally following the alignment of the existing gravel path, unless otherwise directed by the Public Works and Engineering (PWE) Director. The PWE Director, or their designee, shall determine the required size and materials of the path. Upon written request, the PWE Director, or their designee, may grant a one-year extension to this requirement.

Member Catalano asked staff to define the review of final PUD submittals to verify consistency with the Conditional Use and Preliminary PUD approval from June 2025.

Senior Planner Redman outlined staff's method for FPUD review for consistency with the PPUD and the codified FPUD requirement and procedural. The FPUD process primarily requires full engineering plans and construction schedule. The engineering plans must be reviewed and approved by PWE, and the developer must substantively adhere to the approved construction schedule.

Member Fallico asked about the condition of approval for paving the Golf Road public sidewalk is regarding keeping the sidewalk as is.

Senior Planner Redman described the details of the existing gravel path and stated the Petitioner would be required to pave the Golf Road path during the project's construction, but there is still ongoing coordination between various agencies on the final alignment and dimensions. The condition of approval included by staff provides an expanded timeline for the petitioner to complete coordination and permitting for the final design of the path, with a final determination by Public Works and Engineering.

Chairman Szabo asked if the bike/ped path along Golf Road would remain open during construction.

Senior Planner Redman stated she understands the intent is that the path would remain open during the project's main construction and may only be closed during paving of the path by the Petitioner.

Chairman Szabo asked for PZB questions for staff. There were none.

Mr. Helle stated that they will plan to keep the Golf Road path open during construction and they will make sure to treat it appropriately as directed by the applicable regulatory jurisdiction.

Chairman Szabo asked for any public comments and there were none.

Member Catalano moved and Member Veremis seconded a motion to recommend the City Council approve the Final PUD as proposed with the condition of approval drafted by staff.

AYES: Zadrozny, Catalano, Fowler, Veremis, Fallico & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

3. Address: Citywide **Case Number:** 25-051-TA

The petitioner is requesting text amendments to the Zoning Ordinance including i) amending the definition for "government facility" in Section 12-13-3; and ii) adding "government facility" as a land use in various residential, commercial, manufacturing and/or institutional zoning districts as permitted or conditional uses.

PIN: Citywide

Petitioner: City of Des Plaines

Chairman Szabo introduced staff presentation

Director Jeff Rogers presented the staff analysis.

Issue: Consideration of Text Amendments modifying regulations of the Zoning Ordinance applicable to City Facilities including those districts where government services are provided or conducted.

Background

The purpose of the City's zoning ordinance is to regulate and control the use and development of land within the City of Des Plaines. The City's zoning ordinance is codified as Title 12 of the City Code of Des Plaines.

Section 12-13-2 of the Code includes various definitions of terms including the following excerpt defining the term "government facility":

12-13-3: DEFINITION OF TERMS:

For the purposes of this title, the following terms shall have the following meanings:

* * *

GOVERNMENT FACILITY: A building or structure owned and operated by a Municipal, State, Federal, or other taxing body institution in which governmental services are provided or conducted.

* * *

This definition and regulations relating thereto are differentiated from definitions and regulations for other regulated land uses including the following:

- a. “colleges and universities”
- b. “libraries, public”
- c. “parks”
- d. “post office”
- e. “public utilities” and
- f. “schools, public – elementary and high school.”

Considering the current variety of land use listings in the Code, the various specific uses which would be classified as a “government facility” include existing and proposed administrative offices, government service centers, fleet dispatch & maintenance operations and similar uses comprised of operations and services of government agencies.

Existing uses throughout the community including buildings, structures, and properties operated by the State, Township, Park District, and the City are currently regulated as a “government facility.” These existing uses include the following:

Facility	Address	Current Zoning	Current Use Regulation
Des Plaines Park District Administrative Center	2222 Birch St	R-1 Single-Family Residential	<i>Legal Nonconforming</i>
Fire Station 62	1313 E. Oakton Ave	R-1 Single-Family Residential	<i>Legal Nonconforming</i>
Fire Station 63	130 E. Thacker St	R-1 Single-Family Residential	<i>Legal Nonconforming</i>
Fire Station 61	405 S. Des Plaines River Rd	C-3 General Commercial	<i>Legal Nonconforming</i>
Des Plaines Park District Maintenance Facility	1300-1350 Oakwood Ave	C-3 General Commercial	<i>Legal Nonconforming</i>
Illinois Secretary of State Driver Services	1462 Lee St	C-4 Regional Shopping	<i>Legal Nonconforming</i>

City Hall & Police Station	1420 Miner St	C-5 Central Business	Permitted
Maine Township Highway Department	1387 Redeker Rd	M-1 Limited Manufacturing	<i>Legal Nonconforming</i>
Fire Station 64	877 Central Rd	I-1 Institutional	<i>Legal Nonconforming</i> (Government offices)
Public Works Department	1111 Joseph Schwab Rd	I-1 Institutional	<i>Legal Nonconforming</i> (Government offices)
Cook County Highway Department	2101 Ballard Rd	I-1 Institutional	<i>Legal Nonconforming</i> (Government offices)

As outlined in the table above, several existing government facilities are noted as “legal nonconforming” uses in the zoning districts in which they are located.

The proposed amendments are an attempt to remedy many of these legal nonconformities while also providing reasonable regulations for future government facilities across the City’s various zoning districts.

Proposed Amendments

To align requirements for government facilities with other similar land uses, text amendments are proposed to several sections of the City Code.

The following amendments would apply to the Residential Districts Use Matrix included in Sec. 12-7-2.I. Table 1:

12-7-2: RESIDENTIAL DISTRICTS REGULATIONS:

I. Residential Use Matrix:

TABLE 1

RESIDENTIAL DISTRICTS USE MATRIX

P = Permitted use

C = Conditional use permit required

Uses	R-1	R-2	R-3	R-4
* * *				
<u>Government facility</u>	<u>P³</u>			
* * *				

Note:

* * *

3. On sites of 0.5 acre or more with frontage on a collector or arterial street.

* * *

Staff Commentary: Staff recommends adding “Government facility” as a listed land use in the Residential Districts Use Matrix as a “Permitted use” in the R-1 Single-Family Residential District only. The text amendment would authorize the Des Plaines Park District Administrative Center and Fire Stations 62 & 63. The classification of the use as a “Permitted use” would align with other land uses which are permitted in the R-1 District including public libraries, parks, playgrounds, and public schools.

The following amendments would apply to the Commercial Districts Use Matrix included in Sec. 12-7-3.K. Table 3:

12-7-3: COMMERCIAL DISTRICTS REGULATIONS:

K. Commercial Use Matrix:

TABLE 3

COMMERCIAL DISTRICTS USE MATRIX

P = Permitted use

C = Conditional use permit required

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
	*	*	*				
Government facility		P	<u>P</u>	<u>P</u>	P		
	*	*	*				

Notes:

* * *

25. **Reserved.**

* * *

Staff Commentary: Staff recommends amending current regulations regarding “Government facility” the Commercial Districts Use Matrix to allow the use as a “Permitted use” in the C-3 and C-4 Districts in addition to current allowances in the C-2 and C-5 Districts. The text amendment would authorize the State of Illinois Secretary of State Driver Services Facility and Fire Station 61. The classification of the use as a “Permitted use” would align with other land uses which are permitted in the C-3 & C-4 Districts including public libraries, parks, post offices, and public utilities. The amendment to the “Notes” section is intended as a “housekeeping” measure to restore a placeholder for a previous Note which was removed from the Code in accordance with a prior text amendment.

No changes are proposed to the Manufacturing Districts Use Matrix included in Sec. 12-7-4.G. Table 5.

12-7-4: MANUFACTURING DISTRICTS REGULATIONS:

G. Manufacturing Use Matrix:

TABLE 5

MANUFACTURING DISTRICTS USE MATRIX

P = Permitted use

C = Conditional use permit required

Uses	M-1	M-2	M-3
* * *			

Staff Commentary: More so than any other category of zoning, properties throughout the City’s manufacturing zoning districts provide the majority of revenues for the area’s various taxing districts which generate revenues via real estate property taxes. As such, introducing new government facilities in manufacturing districts is not recommended. As proposed, the existing Maine Township Highway Department use would remain legal nonconforming and be subject to the requirements of Title 12 Zoning, Chapter 5 Nonconforming Uses and Structures. Future government facility uses upon property currently zoned for manufacturing district uses would require rezoning to a classification that allows government facilities such as the I-1 Institutional District.

The following amendments would apply to the Institutional Districts Use Matrix included in Sec. 12-7-5.A.6. Table 7:

12-7-5: SPECIAL DISTRICTS REGULATIONS:

A. Institutional District:

6. Institutional Use Matrix:

TABLE 7

INSTITUTIONAL DISTRICT USE MATRIX

P = Permitted use

C = Conditional use permit required

Use	I-1
-----	-----

land use regulations were introduced with consideration of current regulations applicable to the closest comparable uses in the affected districts, including libraries, parks, public schools, etc.

5. Whether the proposed amendment reflects responsible standards for development and growth.

The proposed amendments are intended to ensure responsible maintenance, improvements, expansion, and replacement of existing government facilities in their current locations as well as potential new government facilities which may enhance government operations and delivery of government services.

PZB Procedure and Recommended Conditions: Per Section 12-3-7.D.3. of the Code, the PZB has the authority to recommend approval, approval with modification, or disapproval of the proposed text amendments to the City Council. Per Section 12-3-7.D.4. of the Code, City Council has final authority regarding whether to adopt the proposed text amendments to the Zoning Ordinance.

Member Fowler asked if there are any sites where new City facilities are proposed.

Director Rogers described the proposed Central Road fire station and the replacement of another fire station on Oakton St. There may be other government facilities in the future, but there are no pending applications.

Chairman Szabo asked how long other example municipalities have had their land use regulations relating to government facilities.

Director Rogers stated that the cited municipalities have had their applicable regulatory frameworks for many years and complete text amendments over time in the same manner as the City currently does.

Chair Szabo asked whether there were any further questions and there were none by PZB members.

Member Zadrozny moved and Member Fallico seconded a motion to recommend the City Council approve the proposed Text Amendments as drafted by staff.

AYES: Zadrozny, Fallico, Catalano, Fowler, Veremis & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

OTHER DISCUSSION

Member Fowler asked if staff has proceeded with changes to the multi-family, commercial, industrial building design regulations and procedures.

Senior Planner Redman outlined the current regulatory framework has not changed for those development categories. Staff drafted a discussion item at a prior PZB meeting describing the existing Building Design Standards.

Member Fowler asked if the 622 Graceland development would have to comply with updated or existing building design and materials codes now that there is a new owner.

Senior Planner Redman stated this project would have to comply with the current building and design regulations. If a proposal doesn't comply, the applicant would likely have to request a major variation which would be reviewed for recommendation by the PZB and City Council approval.

Member Veremis asked about previously approved but not constructed developments.

Senior Planner stated there have not been any proposed changes to the multi-family and non-residential building design regulations. The recent text amendment recommended by PZB and approved by City Council related only to single family detached and two-family residential.

Member Fowler asked about the process for proposing changes to the multi-family and non-residential building design regulations.

Director Rogers outlined the process to determine policy direction on this item from City Council and through the 2026 Budget creation process to identify the bounds of the project requirements and hiring a consultant to amend the architectural design related requirements. If that is prioritized, then it would proceed through an RFP process and would involve working with the consultant on research, public engagement, and then developing amended language to be presented to PZB and Council.

Member Fowler stated she still gets comments from people regarding the Welkin and the aesthetics of the building.

Chairman Szabo asked for examples of requirements from other municipalities for building design and exterior materials especially the recent developments in downtown Mount Prospect and Glenview, where buildings are primarily masonry.

Senior Planner Redman stated that staff could collate the other municipalities' material and design review procedures and provide the details for the PZB as a sample and possible discussion item. She also reiterated that zoning and design regulations are often shaped by community context and provided information on the origin of the existing code requirements.

Chairman Szabo asked for the information over the next couple months.

Member Veremis asked about whether developments the PZB has reviewed are stalled or canceled.

Director Rogers outlined the details of the status for several specific projects and their status.

Member Veremis asked specifically about the 414 E. Golf Road development.

Director Rogers stated that 414 E. Golf Road development has no active development application.

ADJOURNMENT

Chairman Szabo adjourned the meeting by affirmative voice vote at 7:45 P.M.

Sincerely,

Jonathan Mendel, AICP, Assistant Director/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners

DRAFT



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplainesil.gov

MEMORANDUM

Date: September 26, 2025

To: Planning and Zoning Board (PZB)

From: Samantha Redman, AICP, Senior Planner *SR*

CC: Jeff Rogers, AICP, Director of Community and Economic Development *JR*

Subject: Request to Continue 25-046-TPLAT-PPUD: Plat of Subdivision and Preliminary Planned Unit Development (PUD) for 9535, 9575, 9585, and 9601 East Golf Road

The petitioner is preparing additional information for consideration of the Plat of Subdivision and Preliminary Planned Unit Development (PUD) and has requested to continue the hearing to the Board's regular meeting on **Tuesday, November 4, 2025** which is attached.

The petitioner is coordinating revisions to engineering and utility plans per direction from City staff and requests additional time to submit final documents for PZB review.

Talar A. Berberian
714-392-2029 direct
tberberian@thompsoncoburn.com

September 25, 2025

VIA FEDERAL EXPRESS

Ms. Samantha Redman, AICP
Senior Planner
City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5384

Re: Continuation Request related to Proposed Planned Unit Development at 9575, 9585, 9600 and 9601 Golf Road, Des Plaines

Dear Ms. Redman:

Please accept this correspondence as a formal request to continue the hearing regarding the above referenced Planned Unit Development and related Subdivision applications to the Planning and Zoning Board meeting scheduled on November 4, 2025. As you are aware, the development team is working with the relevant parties in the City to resolve some outstanding questions related to the proposed development. We anticipate resolving these outstanding matters by that date so that we can proceed with the next steps of the entitlement process.

Very truly yours,

Thompson Coburn LLP



By
Talar A. Berberian
Partner

Enclosures

cc: Mr. Bernard I. Citron (via email)

MEMORANDUM

Date: September 26, 2025

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Consideration of a Final Plat of Subdivision at 1655 and 1695 S. Des Plaines River Road,
Case #25-053-FPLAT

Issue: The applicant requests a Final Plat of Subdivision to consolidate two lots into one lot of record.

Applicant/Owner: Brickton Montessori (Representative: Erica Lane, 8622 W. Catalpa Ave, Chicago, IL 60656)

Case Number: 25-053-FPLAT

PINs: 09-28-107-008-0000 and 09-28-107-009-0000

Ward: #2, Alderman Colt Moylan

Existing Zoning: I-1, Institutional District (*both properties*)

Existing Land Use: Vacant property (*1655 S. Des Plaines River Road*); office building and parking lot (*1695 S. Des Plaines River Road*)

Surrounding Zoning: North: C-3 General Commercial District
South: Single Family Residential District (R4) (Unincorporated Cook County)
East: Single Family Residential District (R4) (Unincorporated Cook County)
West: C-3 General Commercial District

Surrounding Land Use: North: Multi-tenant Office Building (Commercial)
South: Cook County Forest Preserve (Recreation)
East: Des Plaines River; then Cook County Forest Preserve (Recreation)
West: Retail and Service Establishments (Commercial)

Street Classification: Des Plaines River Road is a minor arterial road under City of Des Plaines jurisdiction.

Comprehensive Plan: The subject property is illustrated as Open Space on the Future Land Use map in the 2019 Comprehensive Plan.

Zoning/Property History: *Overview*
The subject properties described below are both located along Des Plaines River Road in the City of Des Plaines but are bounded by the Des Plaines River and the Cook County Forest Preserve in unincorporated Cook County.

Address	PIN	Current Zoning District	Lot Size
1655 S. Des Plaines River Rd	09-28-107-008-0000	I-1, Institutional district	30,592.48 SF (0.70 acres)
1695 S. Des Plaines River Rd	09-28-107-009-0000	I-1, Institutional district	58,478.31 SF (1.34 acres)

The property at 1655 S. Des Plaines River Road is unimproved. However, the property at 1695 S. Des Plaines River Road is improved with a two-story, 19,000-square-foot commercial building with a surface parking area as shown on the attached ALTA/NSPS Land Title Survey.

Development Proposal and Previous Approvals

The applicant is interested in locating a private school and childcare center within the existing building on the subject properties. On June 3, 2024, City Council approved a text amendment to allow a childcare center in the I-1 district via Ordinance Z-8-24 and the following items via Ordinance Z-9-24: (i) map amendments to rezone both properties to I-1; (ii) a conditional use to allow a childcare center on the subject property; and (iii) five separate major variations related to parking lot location, setback, and landscaping. The Tentative Plat request to consolidate the two existing lots into one lot was approved by PZB on November 12, 2024. As such, the applicant now requests the final plat, which is the last required step for the subdivision process.

FINAL PLAT OF SUBDIVISION

Request Description: *Overview*
The proposal includes the consolidation of the two existing lots into one 3.14-acre lot. The attached Final Plat of Brickton Montessori Subdivision shows the location, boundary, and size of the proposed consolidated lot. The plat notes the previously vacated Springer Street right-of-way located at the southern portion of the subdivision that abuts the Cook County Forest Preserve District property.

Building Lines and Easements

The plat shows the following for the proposed subdivision: (i) a new 50-foot front building setback line along the west property line; (ii) new 25-foot side building setback lines along the north and south side property lines; (iii) existing 12-foot and 15-foot by 15-foot public utility easements at the northwest corner; (iv) a permanent easement for the Metropolitan Water Reclamation District (MWRD) along the west side; (v) an 84-inch MWRD Storm Line along the south portion; and (vi) a notation related to part of the northwest corner that was taken by Illinois Department of Transportation (IDOT) for roadway purposes.

The plat notes that the rear property line of the subdivision is located at the center thread of the Des Plaines River. As such, the rear 50-foot rear building setback line along the east boundary of the proposed subdivision is not shown. However, the existing office building is setback substantially further than 50 feet from the rear property line.

Floodplain and Floodway Considerations

Both properties abut the Des Plaines River on their eastern boundaries and, based on the current Federal Emergency Management Agency (FEMA) flood hazard maps, are located entirely within a flood hazard zone and a portion of the regulatory floodway. As such, any development is required to conform with all FEMA and City of Des Plaines Flood Control regulations prior to the construction of any improvements on either property.

Public Works and Engineering (PWE) Review

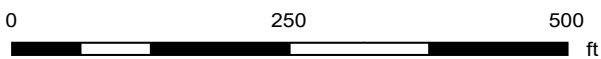
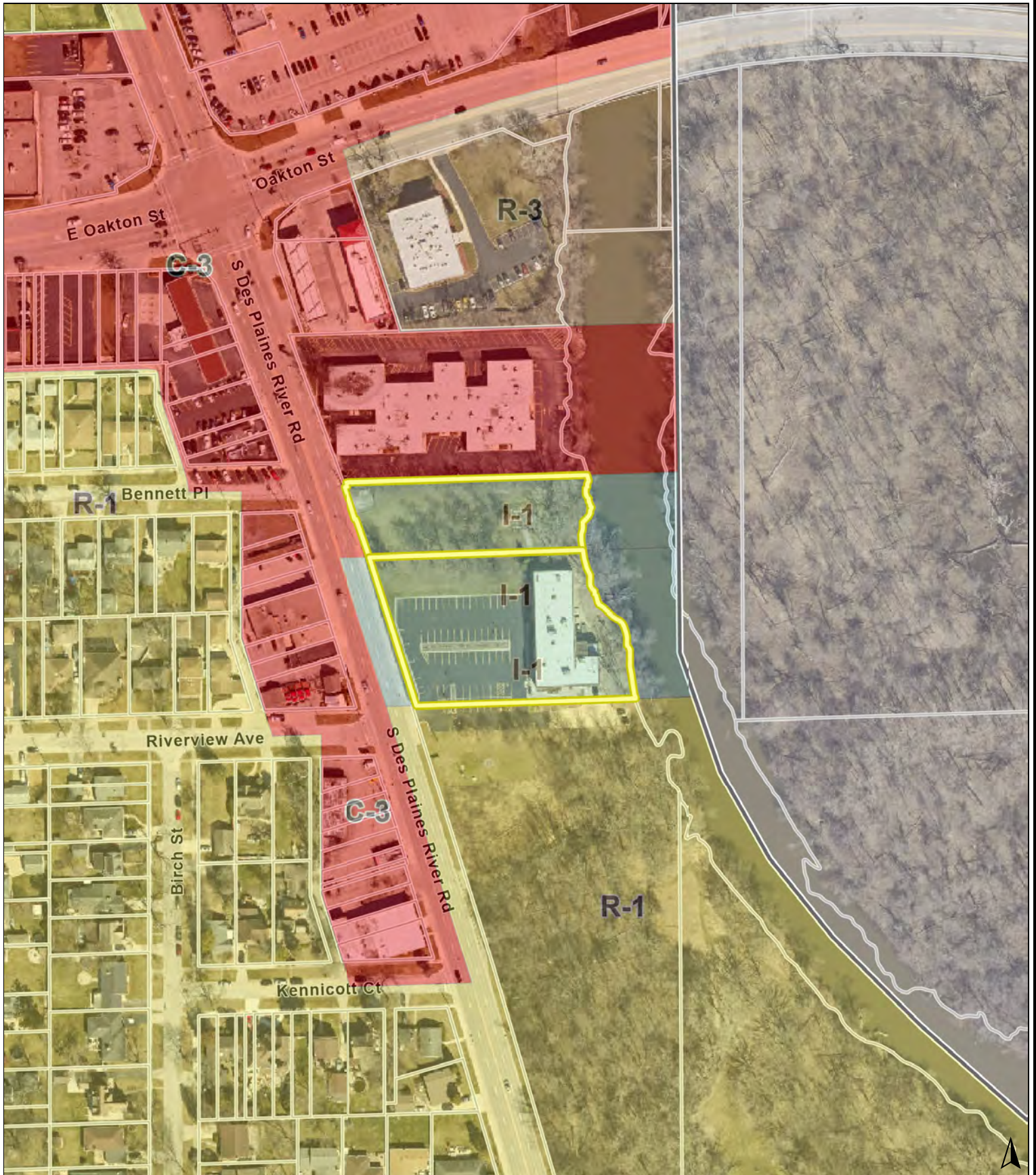
The applicant has provided the attached Final Engineering Plans, which identify the specific improvements related to this project including a new curb cut on Des Plaines River Road, new walkways on site, a new fire department connection, site grading, building waterproofing, and various building interior adjustments. The applicant has also provided an Engineer's Estimate of Probable Cost (EOPC) for improvements addressing the various flood hazard zone concerns on the subject property, which have been approved by the PWE department with conditions as noted in the attached PWE approval letter. This approval is conditioned upon the applicant providing additional details related to the EOPC submittal by time of City Council consideration to ensure all appropriate FEMA and flood control regulations are met.

PZB Procedure and Recommended Conditions: Under Section 13-2-3 (Planning and Zoning Board's Procedure) of the Subdivision Regulations, the PZB has the final authority to recommend approval or denial of the Final Plat of Subdivision request at 1655 and 1695 S. Des Plaines River Road. As part of the recommendation for this plat, the additional details requested by the PWE in its approval letter are also included and required at time of City Council consideration in order to fully complete the subdivision process.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Select Final Engineering Plans¹
- Attachment 7: Public Works and Engineering (PWE) Department Memo
- Attachment 8: Final Plat of Subdivision

¹ Full copies available upon request to the Community and Economic Development department.



Print Date: 11/6/2024

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



1655 & 1695 S. DP River Rd – Public Notice Sign #1



1655 & 1695 S. DP River Rd – Public Notice Sign #2



1655 & 1695 S. DP River Rd – Looking Northeast at Front of Site



1655 & 1695 S. DP River Rd – Looking Southeast at Front of Site



Illinois State Recognized
Accredited by the Independent Schools
Association of the Central States and the
American Montessori Society

8622 W. Catalpa Ave. Chicago, IL 60656
ph (773) 714-0646
fx (773) 714-9361
www.brickton.org

Jonathan Stytz, AICP, Senior Planner (Project Lead)
Community and Economic Development Department
1420 Miner Street
Des Plaines, IL 60016

**Re: Project Narrative for Tentative Plat of Consolidation
1655 & 1695 S. River Road, Des Plaines, IL – Brickton Montessori School**

Dear Mr. Stytz,

Brickton Montessori School has completed the purchase of the subject property located at 1655 S. River Road and 1695 S. River Road in Des Plaines. Brickton Montessori has requested a series of zoning changes to convert an existing building into a school and day care facility. These zoning changes included map amendments and rezoning the subject property to allow a childcare center on the subject property.

Pursuant to Technical Review Board Comments dated March 12, 2024, and Des Plaines Subdivision Regulations (Title 13) of the City Code require PIN consolidation of the two subject properties. Pursuant to 13-2-2 regarding tentative plat submittals, please find attached, the “Tentative Plat of Brickton Subdivision,” showing the legal joining of the subject property lots.

The Owner shall be:
Brickton Montessori School
8622 W. Catalpa Ave
Chicago, IL 60656

Please do not hesitate to reach out with any questions or if you would like to further discuss this application. We look forward to speaking with you.

With warm regards,

Erica Lane
Head of School
Brickton Montessori School
(773) 714-0646
www.brickton.org

Attachments:

- Development Application
- Property Deeds
- List of Professional Consultants
- Plat of Survey
- Tentative Plat of Subdivision (Consolidation)
- Preliminary Engineering



October 23rd, 2024

Matthew J Gardner
Attorney
Robbins Schwartz

PROPERTIES CONSOLIDATION APPROVAL LETTER

Dear Mr. Gardner,

This letter is in response to the request for approval of the consolidation of properties 1655 & 1695 S. River rd, Des Plaines, IL for Brickton Montessori School development.

This letter acknowledges that AT&T does not object to the above stated property consolidation. Please be advised that this letter is not a commitment to vacate the AT&T utility easement on the North-West side of property 1655 S. River rd. Des Plaines.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely

A handwritten signature in black ink, appearing to read 'Kolade Fajimi'.

Kolade Fajimi (Engineer)
Mgr Osp Plng & Eng Design
ATO, Construction & Engineering-MW

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com



November 6, 2024

Erica Lane, Head of school
Brickton Montessori School
1695 S.River Road
Des Plaines, IL 60018

This letter shall serve as Nicor Gas' intention and availability to serve the consolidation of two parcels and project located in 1695 S River Rd, Des Plaines, IL 60018. Nicor Gas can only provide an underground service line per parcel unless specified by the Field Operations and Engineering team. Nicor Gas will provide 200' of gas **main** per new customer/meter and 60' of **service** line per new customer/meter at no cost. If your project exceeds these footages, we will determine the cost to you based on an economic evaluation of the project, as well as any unusual condition which may apply, i.e. directional boring charges, etc.

Nicor requires that you complete specified improvements and obtain private property rights before providing service. Curbing established, required sleeves installed at paved intersections and under all pavements for new commercial services.

Private property rights must be obtained, and any easements, rights-of-way and underground utility lines must be staked and clearly marked. All necessary permits need approved prior to all service & gas main installations.

If you have any questions, please feel free to contact me at 779-227-4011.

Best regards,

Jocelyn Hernandez

New Business Construction Consultant

11/14/2024

1655 S River Rd., Des Plaines

Request for Electrical Service Letter – 1655 S River Rd., Des Plaines, IL 60018

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 779 231-2775.

Thanks,

Martin

Martin Conneely
DCC | Field Representative
ComEd | An Exelon Corporation
779 231-2775

11/14/2024

1695 S River Rd., Des Plaines

Request for Electrical Service Letter – 1695 S River Rd., Des Plaines, IL 60018

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 779 231-2775.

Thanks,

Martin

Martin Conneely
DCC | Field Representative
ComEd | An Exelon Corporation
779 231-2775

PROJECT

BRICKTON MONTESSORI SCHOOL

P.I.N.

09-28-107-009-0000

PROJECT ADDRESS

1695 SOUTH RIVER RD.
DES PLAINES, IL 60018

DRAWING INDEX

CIVIL DRAWINGS

- C001 GENERAL NOTES
- C002 MWRD GENERAL NOTES
- C003 SITE EXISTING CONDITIONS
- C100 SITE DEMOLITION PLAN
- C200 SITE DIMENSION PLAN
- C210 SITE TURNING MOVEMENT PLAN
- C300 SITE GRADING PLAN
- C310 SITE EROSION CONTROL PLAN
- C400 SITE UTILITY PLAN
- C500 CITY OF DES PLAINES DETAILS
- C501 CITY OF DES PLAINES DETAILS
- C502 MWRD DETAILS
- C503 SITE DETAILS
- C504 SITE DETAILS
- C600 OPERATION AND MAINTENANCE PLAN
- C700 STORMWATER MANAGEMENT PLAN

PROJECT TEAM

OWNER:



1695 SOUTH RIVER RD
DES PLAINES, IL 60018
(T) 773-714-0646

ARCHITECT:



343 S. DEARBORN ST.
SUITE 200
CHICAGO, IL 60604
(T) 312.939.7787

CIVIL ENGINEER AND LANDSCAPE ARCHITECT:



225 W Ohio Street, Suite 400
Chicago, IL 60654
(T) 312-467-0123 | (F) 312-467-0220
License No.
184.003610-0014035.003142
Expires: 04/30/2027



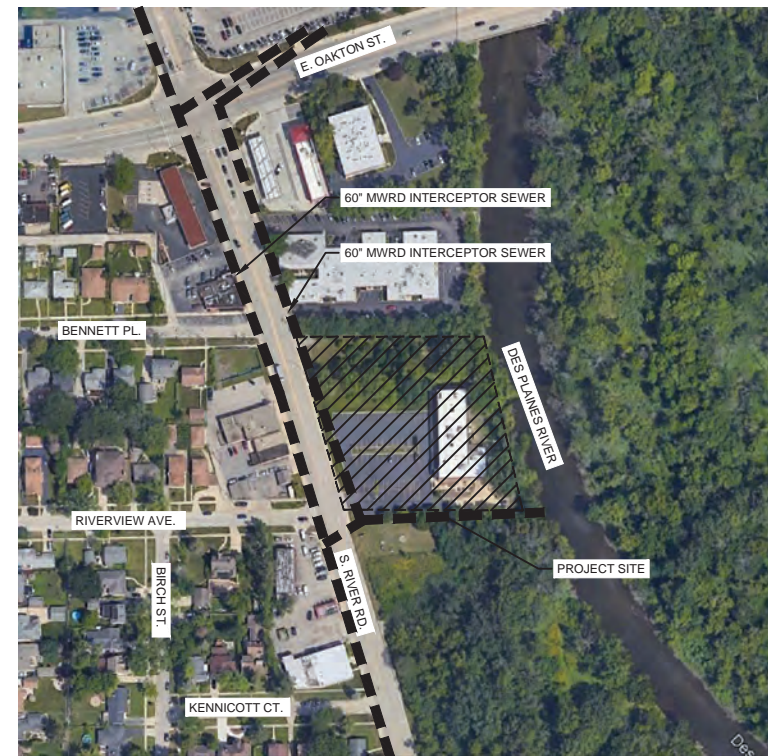
PRIOR TO STARTING UNDERGROUND CONSTRUCTION
THE CONTRACTOR SHALL CALL J.U.L.I.E. AT
1-800-892-0123 FOR UNDERGROUND UTILITIES LOCATION.



THIS CERTIFIES THAT THESE DRAWINGS HAVE BEEN REVIEWED TO THE BEST OF MY KNOWLEDGE AND THAT I BELIEVE THEY ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, STATE OF ILLINOIS.

Kevin Hejtmanek
LICENSED ENGINEER OF RECORD

SITE MAP



LEGEND

— MWRD INTERCEPTOR

BENCHMARKS

CITY OF DES PLAINES BENCHMARK #73

MONUMENT SET IN CONCRETE AT N.W. CORNER OF OAKTON AND WHITE STREETS 10' NORTH OF EIP OF OAKTON AND 12' WEST OF EIP OF WHITE.

Elevation: 635.03

SQUARE CUT ON CURB

Elevation: 631.78

SQUARE CUT ON CURB

Elevation: 630.73

SQUARE CUT ON CURB

Elevation: 628.66

DRAINAGE STATEMENT

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP SAFE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL REV. STAT. CH 48, PAR. 60 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [IL REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.]. IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OR DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.

P (708) 588-4055
E WMOJobStart@mwrdd.org



Wheeler Kearns Architects
343 South Dearborn Street
Suite 200
Chicago IL 60604
312.939.7787
wkarch.com

- 1 6/13/2025 BUILDING PERMIT R1
- 2 6/13/2025 GSW PERMIT R1
- 3 8/19/2025 MWRD SUBMITTAL



Project

Brickton Montessori School
1695 South River Road
Des Plaines, IL 60018

COVER SHEET

Drawing No

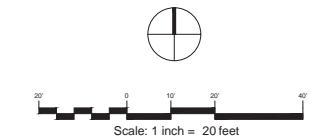
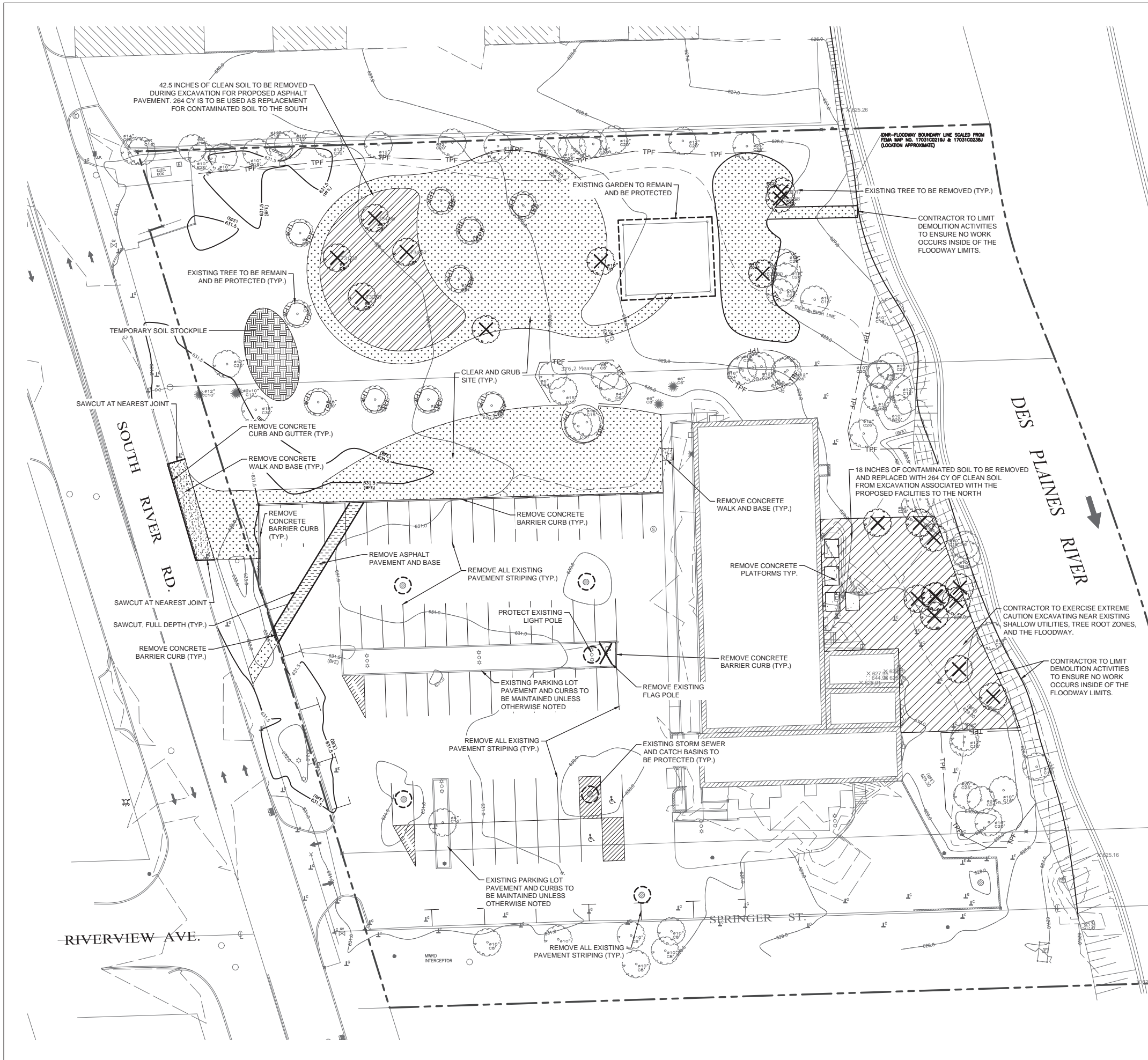
C000

Scale

AS NOTED

Job No

R3072



LEGEND:

- PROPERTY LINE
- - - LIMITS OF WORK
- [Hatched Box] EXISTING BUILDING
- [Dotted Box] REMOVE CONCRETE WALK AND BASE
- [Cross-hatched Box] REMOVE STREET PAVEMENT AND BASE
- [Stippled Box] CLEAR AND GRUB SITE
- [Diagonal Hatched Box] CLEAN SOIL EXCAVATION LIMITS
- [Diagonal Hatched Box] CONTAMINATED SOIL EXCAVATION LIMITS
- [Cross-hatched Box] TEMPORARY SOIL STOCKPILE
- [Double Line] REMOVE CONCRETE CURB AND GUTTER
- [Single Line] REMOVE CONCRETE BARRIER CURB
- [Circle with X] EXISTING TREE TO BE REMOVED
- [Circle with O] EXISTING TREE TO REMAIN
- [Solid Line] SAWCUT (FULL DEPTH)
- [Dashed Line] TPF TREE PROTECTION FENCE
- [Circle with O] ITEM TO REMAIN AND BE PROTECTED
- [Circle with X] ITEM TO BE REMOVED

- NOTES:
1. 100-YEAR FLOODPLAIN = 631.50'
 2. ALL EXCAVATED MATERIAL IS TO BE REMOVED DAILY

wkarch
 Wheeler Kearns Architects
 343 South Dearborn Street
 Suite 200
 Chicago IL 60604
 312.939.7787
 wkarch.com

- 1 6/13/2025 BUILDING PERMIT R1
- 2 6/13/2025 GSW PERMIT R1
- 3 8/19/2025 MWRD SUBMITTAL



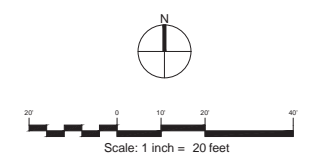
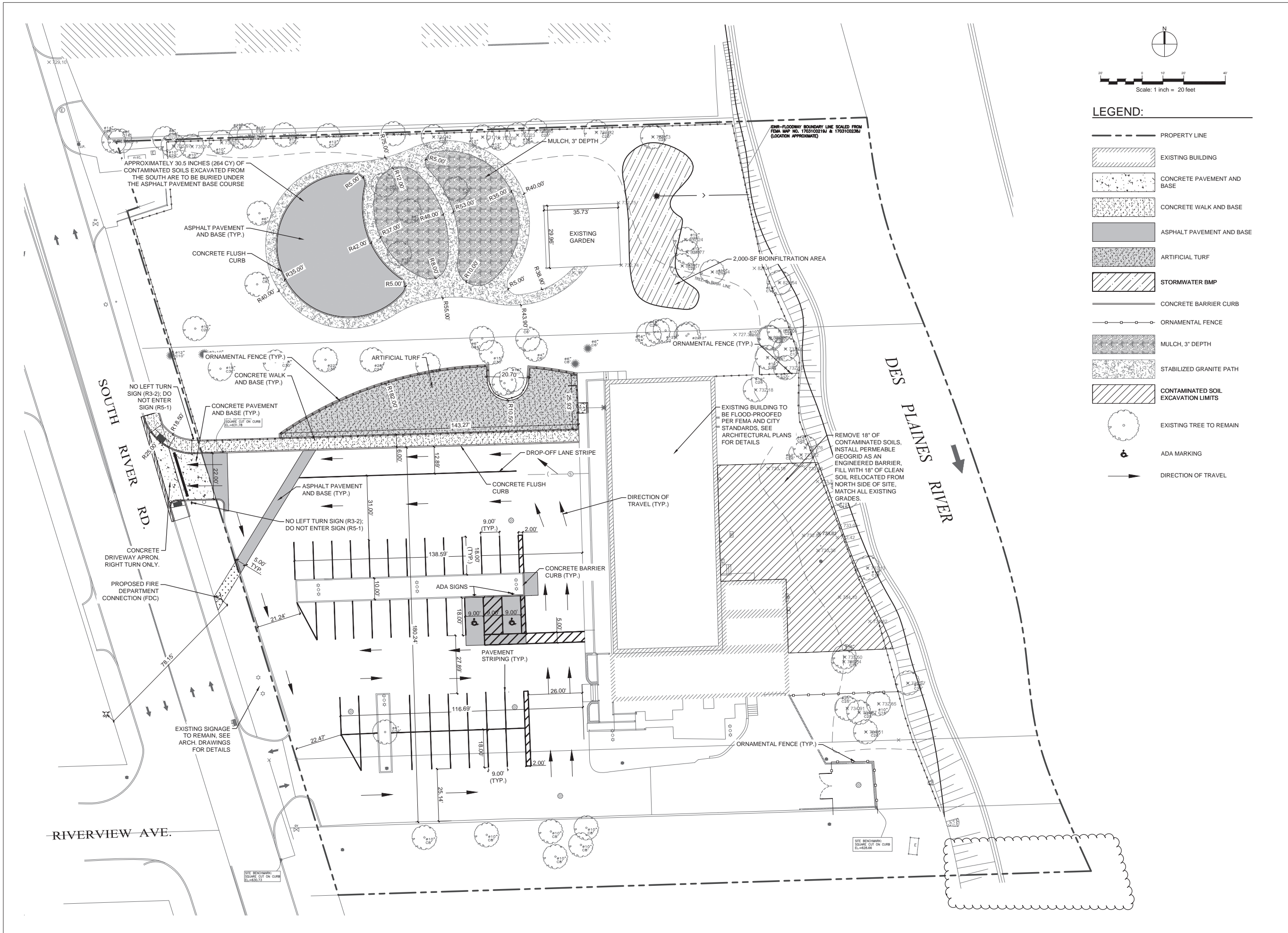
Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

SITE DEMOLITION PLAN

Drawing No
C100

Scale AS NOTED

Job No R3072



LEGEND:

- PROPERTY LINE
- EXISTING BUILDING
- CONCRETE PAVEMENT AND BASE
- CONCRETE WALK AND BASE
- ASPHALT PAVEMENT AND BASE
- ARTIFICIAL TURF
- STORMWATER BMP
- CONCRETE BARRIER CURB
- ORNAMENTAL FENCE
- MULCH, 3" DEPTH
- STABILIZED GRANITE PATH
- CONTAMINATED SOIL EXCAVATION LIMITS
- EXISTING TREE TO REMAIN
- ADA MARKING
- DIRECTION OF TRAVEL

Wkarch
 Wheeler Kearns Architects
 343 South Dearborn Street
 Suite 200
 Chicago IL 60604
 312.939.7787
 wkarch.com

- 1 6/13/2025 BUILDING PERMIT R1
- 2 6/13/2025 GSW PERMIT R1
- 3 8/19/2025 MWRD SUBMITTAL
- 4 9/22/2025 PLAT OF CONSOLIDATION REV3



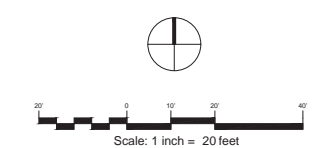
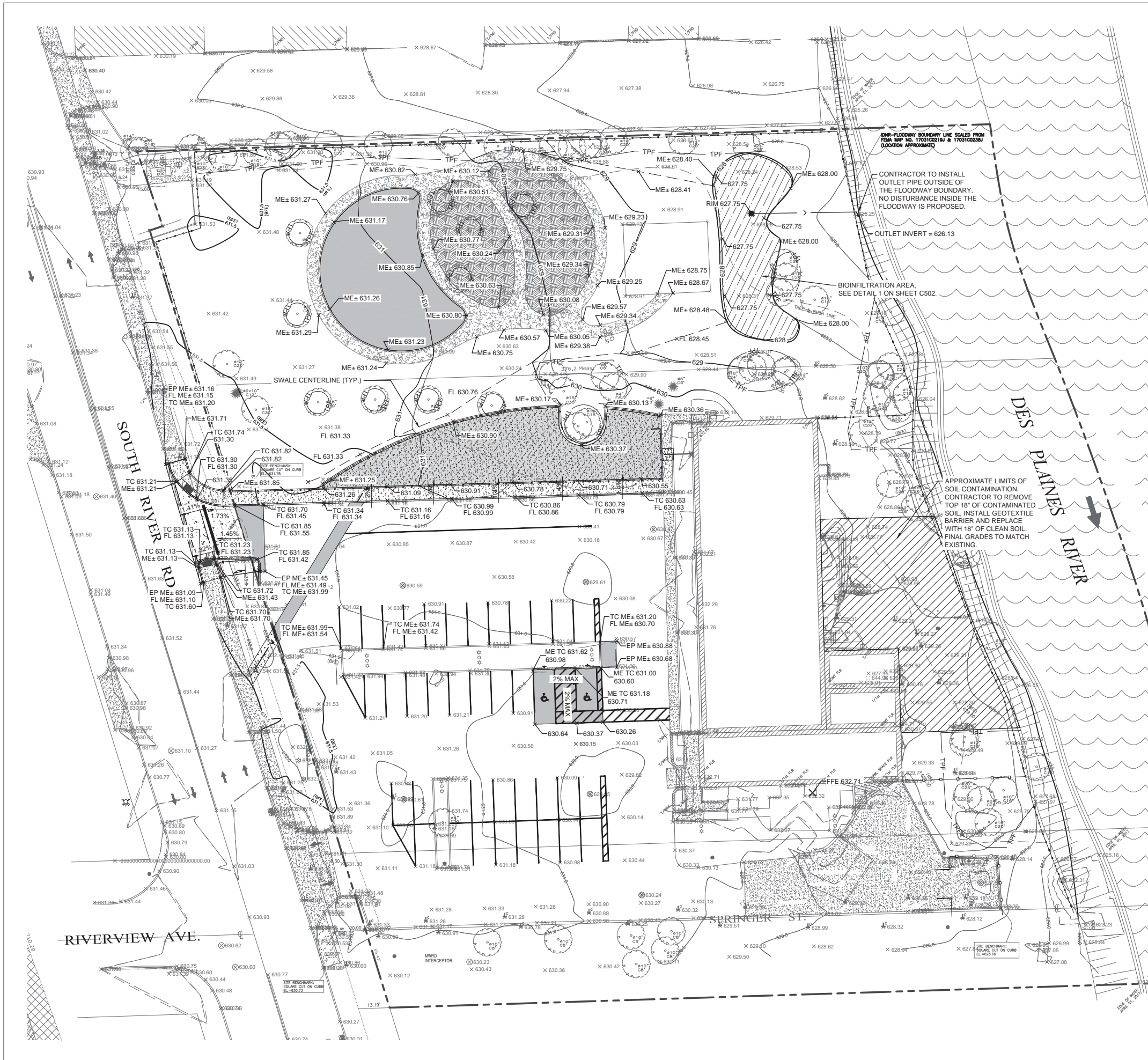
Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

SITE DIMENSION PLAN

Drawing No
C200

Scale AS NOTED

Job No R3072



LEGEND:

- PROPERTY LINE
- [Hatched Box] EXISTING BUILDING
- TC XX.XX TOP OF CURB ELEVATION
- FL XX.XX FLOW LINE ELEVATION
- XX.XX SPOT ELEVATION
- 1.0% SLOPE ARROW
- ME± MATCH EXISTING
- DC DEPRESSED CURB
- 10— MAJOR CONTOUR
- 9— MINOR CONTOUR
- - - SWALE CENTERLINE
- [Hatched Box] CONTAMINATED SOIL EXCAVATION LIMITS

wkarch
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- 1 6/13/2025 BUILDING PERMIT R1
- 2 6/13/2025 GSW PERMIT R1
- 3 8/19/2025 MWRD SUBMITTAL



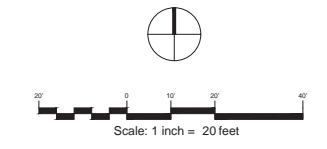
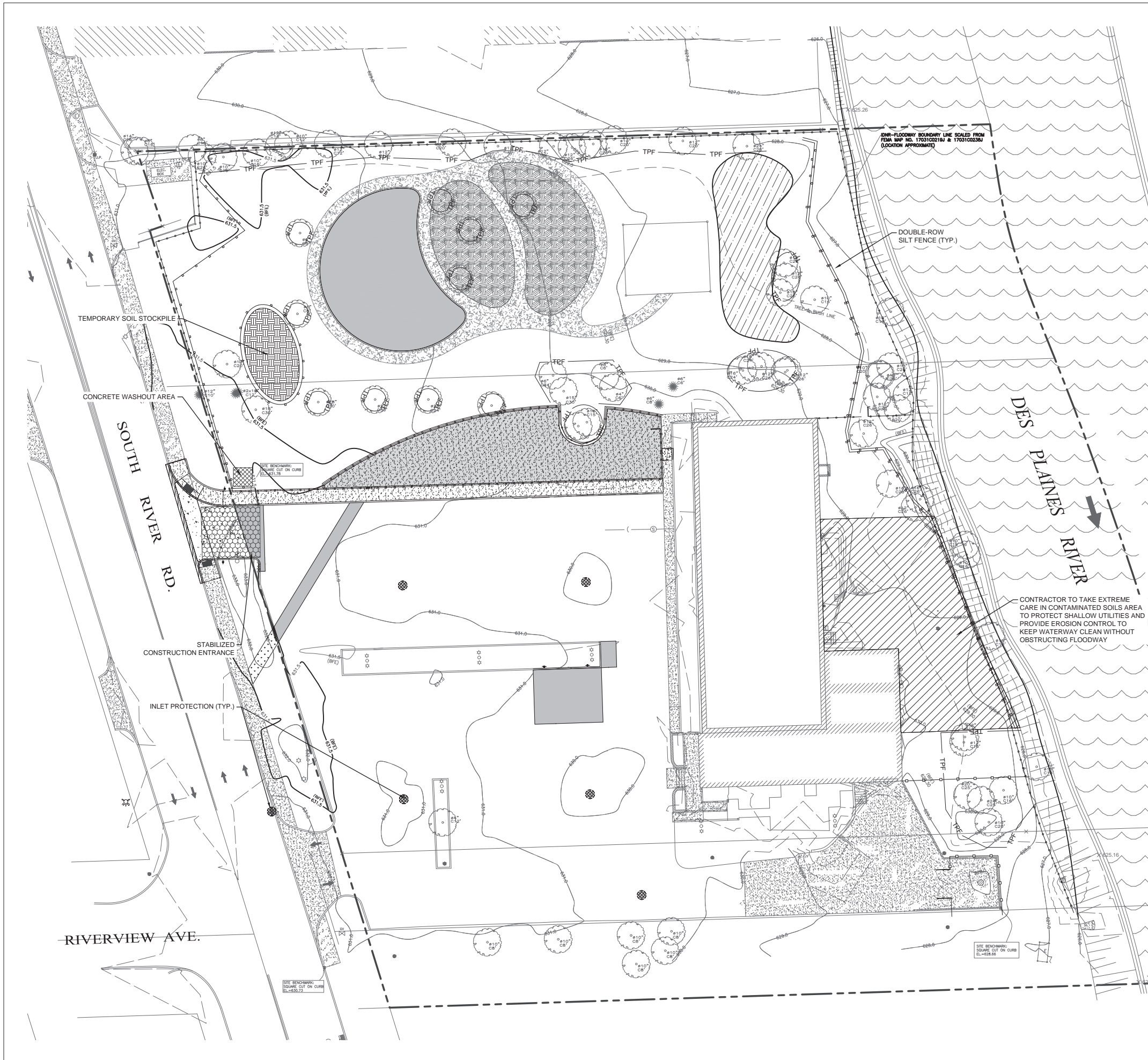
Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

SITE GRADING PLAN

Drawing No
C300

Scale AS NOTED

Job No R3072



LEGEND:

- PROPERTY LINE
- [Hatched Box] EXISTING BUILDING
- SILT FENCE
- [Circle with Dots] FURNISH AND INSTALL INLET/CATCH BASIN FILTER
- [Hexagonal Pattern Box] STABILIZED CONSTRUCTION ENTRANCE
- [Cross-hatch Pattern Box] CONCRETE WASHOUT AREA
- [Grid Pattern Box] TEMPORARY SOIL STOCKPILE
- TPF --- TREE PROTECTION FENCE

ESTIMATED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES

1. STABILIZED CONSTRUCTION ENTRANCE INSTALLATION
2. SILT FENCE INSTALLATION
3. SITE CLEARING AND GRUBBING
4. TOPSOIL STRIPPING AND STOCKPILING
5. GRADING
6. CONSTRUCTION OF PROPOSED IMPROVEMENTS
7. CONSTRUCTION WASTE DISPOSAL
8. TEMPORARY AND PERMANENT STABILIZATION
9. REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ONCE SITE IS STABILIZED
10. ALL EXCAVATED MATERIAL IS TO BE REMOVED DAILY

CONTRACTOR TO TAKE EXTREME CARE IN CONTAMINATED SOILS AREA TO PROTECT SHALLOW UTILITIES AND PROVIDE EROSION CONTROL TO KEEP WATERWAY CLEAN WITHOUT OBSTRUCTING FLOODWAY

wkarch
 Wheeler Kearns Architects
 343 South Dearborn Street
 Suite 200
 Chicago IL 60604
 312.939.7787
 wkarch.com

- | | | |
|---|-----------|--------------------|
| 1 | 6/13/2025 | BUILDING PERMIT R1 |
| 2 | 6/13/2025 | GSW PERMIT R1 |
| 3 | 8/19/2025 | MWRD SUBMITTAL |



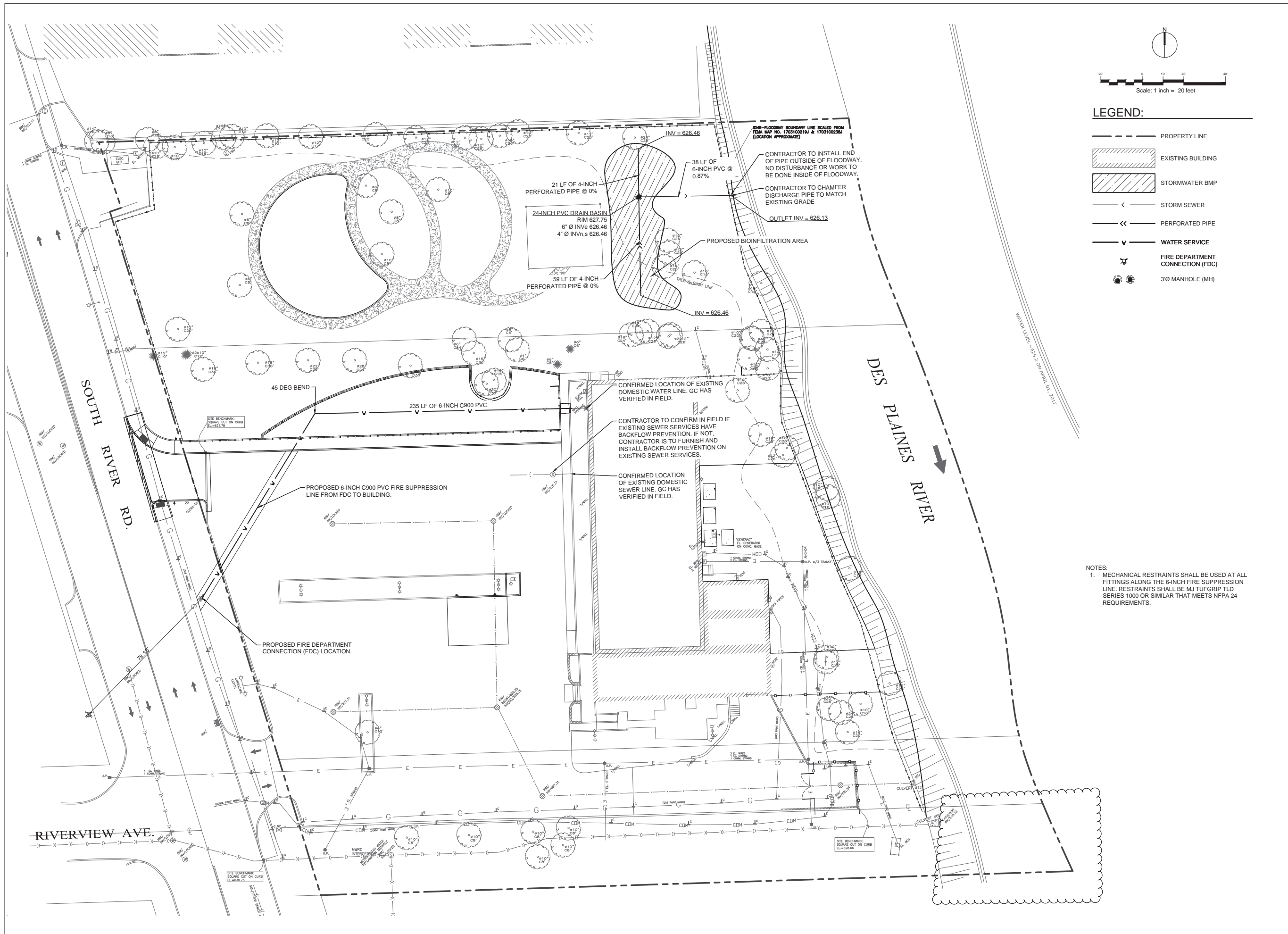
Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

SITE EROSION CONTROL PLAN

Drawing No
C310

Scale AS NOTED

Job No R3072



LEGEND:

- PROPERTY LINE
- ▨ EXISTING BUILDING
- ▨ STORMWATER BMP
- <— STORM SEWER
- <<— PERFORATED PIPE
- v— WATER SERVICE
- ⊕ FIRE DEPARTMENT CONNECTION (FDC)
- ⊙ 3'Ø MANHOLE (MH)

NOTES:
 1. MECHANICAL RESTRAINTS SHALL BE USED AT ALL FITTINGS ALONG THE 6-INCH FIRE SUPPRESSION LINE. RESTRAINTS SHALL BE MJ TUFGRIP TLD SERIES 1000 OR SIMILAR THAT MEETS NFPA 24 REQUIREMENTS.

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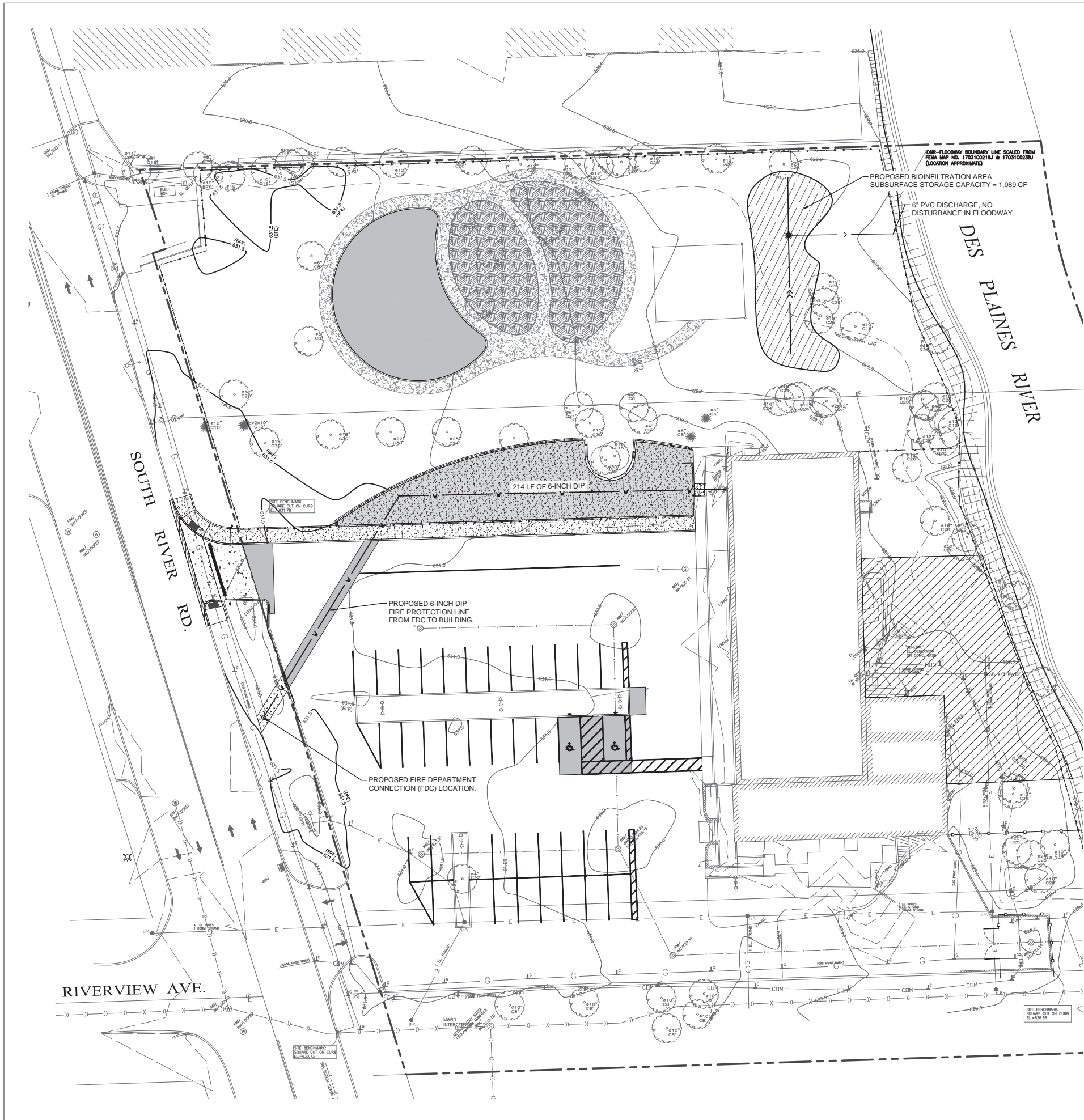
- 1 6/13/2025 BUILDING PERMIT R1
- 2 6/13/2025 GSW PERMIT R1
- 3 8/19/2025 MWDR SUBMITTAL
- 4 9/22/2025 PLAT OF CONSOLIDATION REV3



Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

SITE UTILITY PLAN

Drawing No
C400
 Scale AS NOTED
 Job No R3072



STORMWATER SUMMARY

DETENTION	
REQUIRED DETENTION (CF):	0
PROVIDED DETENTION (CF):	0
VOLUME CONTROL	
REQUIRED VOLUME CONTROL (CF):	1043
PROVIDED VOLUME CONTROL:	1,089

O&M PRACTICES AND IMPLEMENTATION SCHEDULE:

INFORMATION IN THIS SECTION OUTLINES THE SPECIFIC INSPECTION AND MAINTENANCE REGIMEN FOR EACH BMP (BEST MANAGEMENT PRACTICE) AND MUST COMPLY WITH THE FOLLOWING:

- O&M PLAN PROCEDURES AND PRACTICES MUST BE REVIEWED AND ASSESSED ANNUALLY.
- ACCESS ROUTES INCLUDING ROADWAYS AND SIDEWALKS MUST BE REVIEWED AND ASSESSED ANNUALLY.
- DRAINAGE STRUCTURES AND FLOW RESTRICTORS MUST BE INSPECTED AND CLEANED SEMI-ANNUALLY.
- VOLUME CONTROL BMPs SHALL BE INSPECTED SEMI-ANNUALLY AND AFTER SIGNIFICANT RAINFALL EVENTS EXCEEDING 1.5 INCHES.
- VEGETATION SHALL BE MAINTAINED ON A REGULAR BASIS.
- PEST CONTROL MEASURES SHALL BE IMPLEMENTED TO ADDRESS INSECTS AND RODENTS.
- SIGNAGE AND FENCING SHALL BE INSTALLED AND MAINTAINED WHERE NECESSARY TO PROTECT PROPERTY AND THE PUBLIC.
- UNDERGROUND VAULTS MUST INCLUDE DESIGN MEASURES TO FACILITATE CLEANING AND MAINTENANCE. CONFINED SPACE SAFETY PROCEDURES MUST BE FOLLOWED.

NATURAL LANDSCAPING

- AS NEEDED/ONGOING
 - 1.1. WATER PLANTS DURING FIRST GROWING SEASON
 - 1.2. WATER PLANTS DURING DRY PERIODS AFTER FIRST GROWING SEASON
 - 1.3. REMULCH VOID AREAS
 - 1.4. TREAT DISEASED TREES AND SHRUBS
 - 1.5. TREES COUNTED AS A STORMWATER MANAGEMENT BMP THAT DO NOT SURVIVE SHOULD BE REPLACED
 - 1.6. KEEP OVERFLOW FREE AND CLEAR OF LEAVES
- MONTHLY
 - 2.1. INSPECT SOIL AND REPAIR ERODED AREAS
 - 2.2. REMOVE LITTER AND DEBRIS
 - 2.3. CLEAR LEAVES AND DEBRIS FROM OVERFLOW
- TWICE PER YEAR
 - 3.1. INSPECT TREES AND SHRUBS TO EVALUATE HEALTH. ANY TREES COUNTED AS A STORMWATER MANAGEMENT BMP THAT DO NOT SURVIVE SHOULD BE REPLACED
- ONCE PER YEAR
 - 4.1. ADD ADDITIONAL MULCH
 - 4.2. INSPECT FACILITY AND PRETREATMENT AREAS FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.

BIOINFILTRATION SYSTEMS

- AS NEEDED/ONGOING
 - 1.1. WATER PLANTS DURING FIRST GROWING SEASON
 - 1.2. WATER PLANTS DURING DRY PERIODS AFTER FIRST GROWING SEASON
 - 1.3. REMULCH VOID AREAS
 - 1.4. TREAT DISEASED TREES AND SHRUBS
 - 1.5. KEEP OVERFLOW FREE AND CLEAR OF LEAVES
- MONTHLY
 - 2.1. INSPECT SOIL AND REPAIR ERODED AREAS
 - 2.2. REMOVE LITTER AND DEBRIS
 - 2.3. CLEAR LEAVES AND DEBRIS FROM OVERFLOW
- TWICE PER YEAR
 - 3.1. INSPECT TREES AND SHRUBS TO EVALUATE HEALTH
- ONCE PER YEAR
 - 4.1. ADD ADDITIONAL MULCH
 - 4.2. INSPECT FACILITY AND PRETREATMENT AREAS FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.

UNDERGROUND DETENTION SYSTEMS

- AS NEEDED/ONGOING
 - 1.1. REMOVAL OF SEDIMENT AND DEBRIS FROM SUBSURFACE VAULT SEDIMENTATION CHAMBER WHEN THE SEDIMENT ZONE IS FULL AS WELL AS FROM THE INLET AND OUTLET PIPES. SEDIMENTS SHOULD BE TESTED FOR TOXICANTS IN COMPLIANCE WITH APPLICABLE DISPOSAL REQUIREMENTS IF THE LAND USES IN THE CATCHMENT INCLUDE COMMERCIAL OR INDUSTRIAL ZONES, OR IF INDICATIONS OF POLLUTION ARE NOTICED
- QUARTERLY
 - 2.1. FLOATING DEBRIS SHOULD BE REMOVED
- ONCE PER YEAR
 - 3.1. INSPECTION OF SUBSURFACE VAULT AND CONTROL STRUCTURES

CONTROL STRUCTURE AND APPURTENANCES

- AS NEEDED/ONGOING
 - 1.1. REMOVAL OF SEDIMENT AND DEBRIS FROM CONTROL STRUCTURE SUMP WHEN THE SEDIMENT ZONE IS FULL.
- QUARTERLY
 - 2.1. FLOATING DEBRIS SHOULD BE REMOVED FROM CONTROL STRUCTURE
- SEMI-ANNUALLY
 - 3.1. BACKFLOW PREVENTOR SHALL BE INSPECTED AND CLEARED OF ANY DEBRIS AND/OR BLOCKAGES.
 - 3.2. VORTEX RESTRICTOR SHALL BE INSPECTED, CLEARED OF ANY DEBRIS AND/OR BLOCKAGES, AND CLEANED AS NECESSARY.
- ONCE PER YEAR
 - 4.1. INSPECTION OF CONTROL STRUCTURE



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1	6/13/2025	BUILDING PERMIT R1
2	6/13/2025	GSW PERMIT R1
3	8/19/2025	MWRD SUBMITTAL



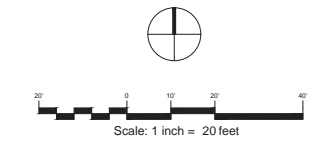
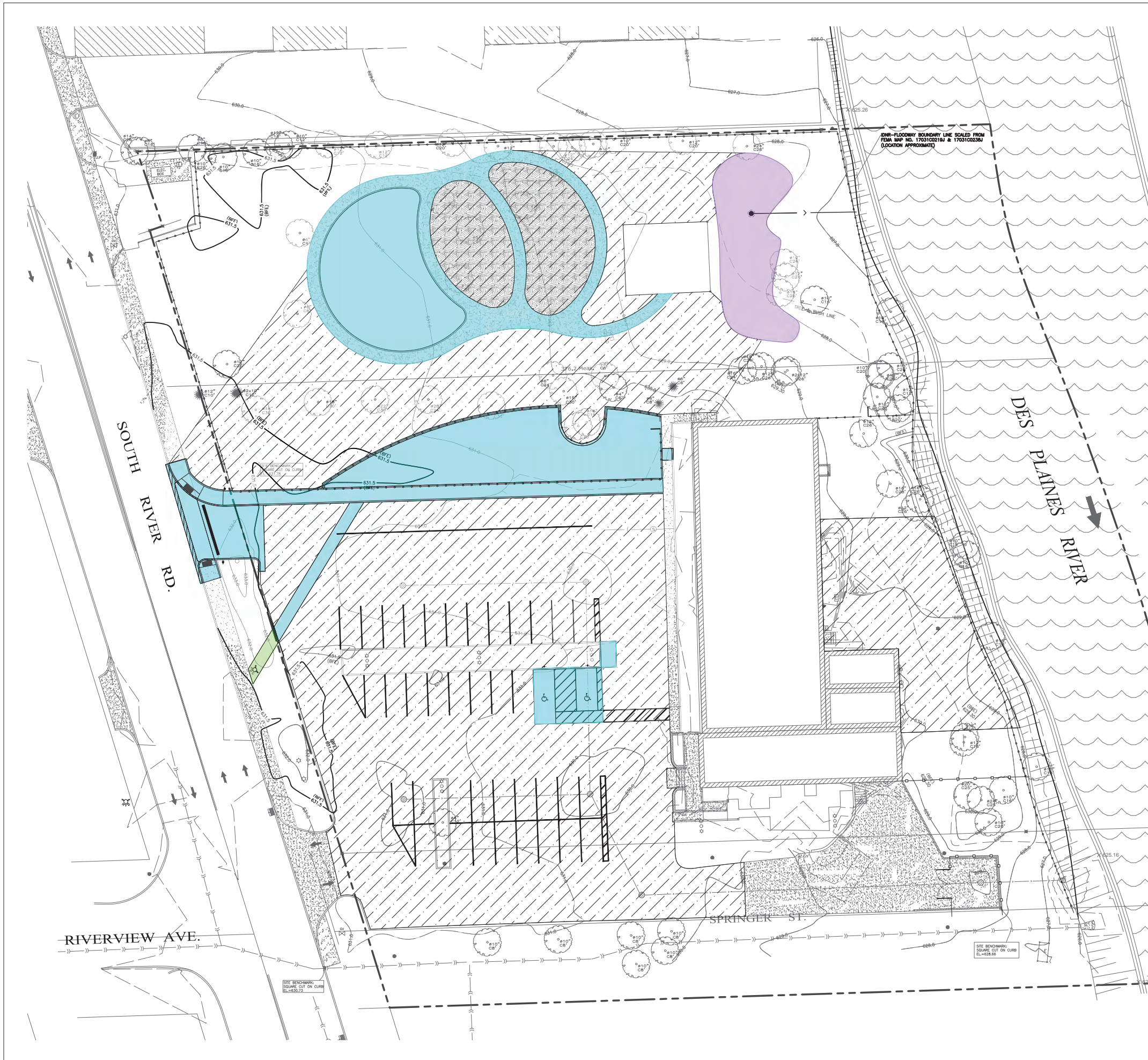
Project
Brickton Montessori School
1695 South River Road
Des Plaines, IL 60018

OPERATION AND MAINTENANCE PLAN

Drawing No
C600

Scale AS NOTED

Job No R3072



LEGEND:

- PROPERTY LINE
- EXISTING BUILDING
- PERVIOUS AREA
- IMPERVIOUS AREA
- BIOINFILTRATION AREA
- MAINTENANCE AREA

DRAINAGE AREAS

TOTAL DISTURBED AREA	
PERVIOUS AREA (AC)	0.00
IMPERVIOUS AREA (AC)	0.29
GRAVEL AREA (AC)	0.00
BIOINFILTRATION AREA (AC)	0.05
TOTAL AREA (AC)	0.34
ADJUSTED CN	93.97

STORMWATER SUMMARY

DETENTION	
REQUIRED DETENTION (CF)	0
PROVIDED DETENTION (CF)	0
VOLUME CONTROL	
REQUIRED VOLUME CONTROL (CF)	1043
PROVIDED VOLUME CONTROL	1,089

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- 1 6/13/2025 BUILDING PERMIT R1
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- 3 8/19/2025 MWRD SUBMITTAL



Project
Brickton Montessori School
 1695 South River Road
 Des Plaines, IL 60018

STORMWATER MANAGEMENT PLAN

Drawing No
C700

Scale AS NOTED

Job No R3072



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: September 23, 2025
To: Jonathan Stytz, Senior Planner
From: Becca Shipp, P.E., Assistant Director of Public Works, and Engineering
Subject: 1695 River Rd. Plat

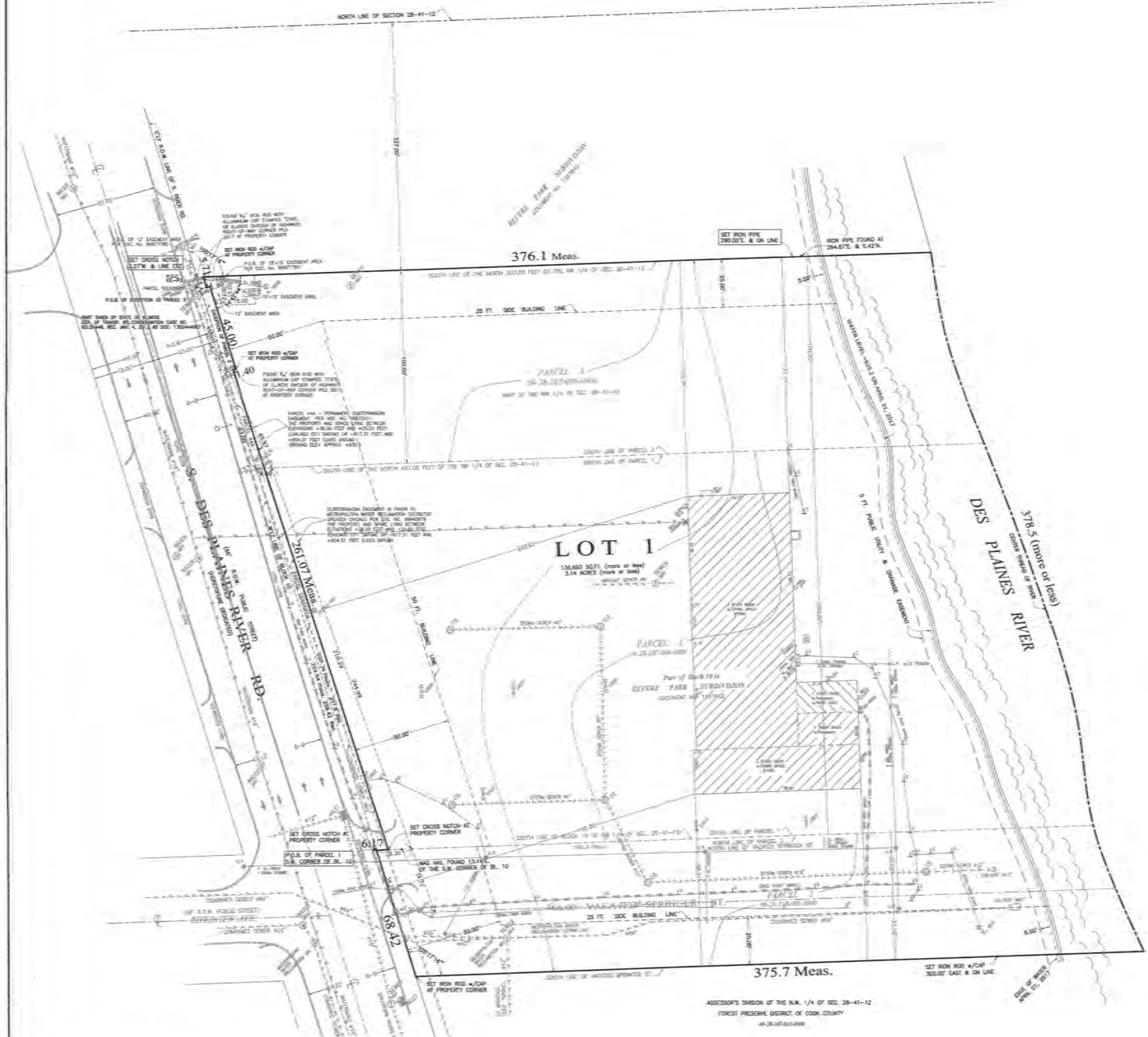
Public Works and Engineering (PW& E) reviewed the above plat and has no objection for approval by the plan commission. However, PW&E will need a much more detailed engineer's estimate of cost for the work done to the building. Unit prices for items along with labor hours for construction of new footings and foundations are required to accurately depict the work that will need to be done. A more accurate breakdown for the water proofing is also required. A PE seal will be needed.

JL/jl



"FINAL PLAT OF BRICKTON MONTESSORI SUBDIVISION"

OF



PARCEL 1:
A TRACT OF LAND IN REVERSE PARK SUBDIVISION OF SECTIONS 21 AND 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH WEST CORNER OF BLOCK 10 IN REVERSE PARK AFORESAID; THENCE NORTHWESTERLY ON THE WEST LINE OF SAID BLOCK 10, 207.4 FEET; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID BLOCK 10 TO CENTER OF DES PLAINES RIVER; THENCE SOUTHEASTERLY ALONG THE THREAD OF SAID RIVER TO THE NORTH LINE OF SPRINGER STREET AND THE SOUTH LINE OF BLOCK 10 TO THE POINT OF BEGINNING; THENCE WEST ON THE NORTH LINE OF SPRINGER STREET AND THE SOUTH LINE OF BLOCK 10 TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF SPRINGER STREET LYING EAST OF THE EAST RIGHT-OF-WAY OF THE DES PLAINES RIVER ROAD AND WEST OF THE CENTER THREAD OF THE DES PLAINES RIVER AND SOUTH OF THE SOUTH LINE OF BLOCK 10 AND THE SOUTH LINE OF BLOCK 10 EXTENDED EAST IN REVERSE PARK SUBDIVISION OF SECTIONS 21 AND 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 3:
THE SOUTH 100 FEET OF THE NORTH 427 FEET OF THAT PART LYING BETWEEN DES PLAINES ROAD AND CENTER OF DES PLAINES RIVER OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS; EXCEPT THE FOLLOWING TAKEN IN CONDEMNATION CASE NO. 02100446: COMMENCING AT THE NORTHWEST CORNER OF THE ABOVE DESCRIBED TRACT, SAID POINT BEING ON THE EXISTING EASTERLY RIGHT-OF-WAY LINE OF DES PLAINES RIVER ROAD; THENCE ALONG SAID EXISTING RIGHT-OF-WAY LINE ON AN ASSUMED BEARING OF SOUTH 15 DEGREES 20 MINUTES 18 SECONDS EAST 6.59 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EXISTING RIGHT-OF-WAY LINE ON THE SAME BEARING OF SOUTH 15 DEGREES 20 MINUTES 18 SECONDS EAST 45.00 FEET; THENCE SOUTH 74 DEGREES 39 MINUTES 44 SECONDS EAST 3.00 FEET; THENCE NORTH 15 DEGREES 20 MINUTES 18 SECONDS WEST 45.00 FEET; THENCE SOUTH 74 DEGREES 39 MINUTES 44 SECONDS WEST 3.00 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

EXCEPTING FROM THE ABOVE 3 PARCELS THAT PART, FALLING IN DES PLAINES RIVER ROAD

TOTAL LAND AREA = 136,892 sq. ft. (more or less) (3.14 acres more or less)
TOTAL BLDG. AREA (EXTERIOR FOOTPRINT AT GROUND LEVEL) = 8,870 sq. ft.

PROPERTY OWNER: BRICKTON MONTESSORI SCHOOL
COMMONLY KNOWN AS: 1885 S. RIVER RD., DES PLAINES, IL 60018
PINS: 09-28-107-008-0000, 09-28-107-009-0000

OWNER CERTIFICATE
BRICKTON MONTESSORI SCHOOL
Owners of the property shown and described herein, hereby certify that this plat of subdivision establishes the minimum building restriction lines, dedications, easements, streets, alleys, walks, and other lines indicated thereon to the public use and satisfaction of other persons as herein stated.

STATE OF ILLINOIS: 35
COUNTY OF COOK: 35

I, _____, a Notary Public in and for said County, in the State aforesaid, do hereby certify that to me to be the same person whose name is described in the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as his free and voluntary act for the uses and purposes therein set forth.

Given under my hand and official seal this _____ day of _____, 2025.

My Commission Expires: _____ Notary Public

CONSENT OF MORTGAGEE
_____ and _____ which is the holder of a mortgage dated on _____, 20____, on Document No. _____, encumbering the property described on this Plat of Subdivision, hereby consents to the recording of this Plat of Subdivision and agrees that his lien shall be subject to the provisions of this Plat of Subdivision.

IN WITNESS WHEREOF, the undersigned has caused this Consent to be executed on _____.

ATTEST:
By _____
Ac. _____

STATE OF ILLINOIS: 35
COUNTY OF COOK: 35

The foregoing instrument was acknowledged before me on _____, 2025, by _____.

Secretary of _____
which individuals are known to me to be the identical persons who signed the foregoing instrument, and I am satisfied as to the identity of each of them, and that they executed the same as their free and voluntary act and deed, and on the free and voluntary act and deed of the corporation, for the uses and purposes therein mentioned.

Given under my hand and official seal this _____ day of _____, 2025.

Signature of Notary
SEA.

My Commission Expires: _____

GENERAL CERTIFICATE
To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of this subdivision or any part thereof, or, if such surface water drainage will be changed, reasonable provision has been made for such collection and disposal of such surface waters into public streets, or drains, and that such surface waters will be disposed of in accordance with generally accepted engineering practices so as to reduce the likelihood of change to the adjoining property because of the construction of this subdivision.

OWNER: REGISTERED PROFESSIONAL ENGINEER
Name: _____
Date: _____
Date: _____

ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT)
This plat has been approved by the Illinois Department of Transportation with respect to roadway permits as submitted to the County for its proposed work within the public right-of-way of roadway under County jurisdiction.

Approved by _____ on this _____ day of _____, 2025.

CODE COUNTY
This plat has been approved by Cook County with respect to roadway permits with a permit as submitted to the County for its proposed work within the public right-of-way of roadway under County jurisdiction.

Approved by _____ on this _____ day of _____, 2025.

PLANNING AND ZONING BOARD
Approved by the Planning and Zoning Board of the City of Des Plaines, Illinois on this _____ day of _____, 2025.

City Clerk _____

Approved by the Mayor and the City Council of the City of Des Plaines, Illinois on this _____ day of _____, 2025.

Attest:
City Clerk _____

NOTARY PUBLIC
I certify that there are no delinquent or current unpaid special assessments on the property shown on this plat.

Date: _____
Director of Finance _____

DIRECTOR OF PUBLIC WORKS AND ENGINEERING
Approved by the Director of Public Works and Engineering of the City of Des Plaines, Cook County, Illinois, on this _____ day of _____, 2025.

By: _____
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

SUBDIVIDER'S CERTIFICATE
STATE OF ILLINOIS: 35
COUNTY OF COOK: 35
I, _____, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SUPERVISED THE SURVEY AND CONSOLIDATION OF THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1:
A TRACT OF LAND IN REVERSE PARK SUBDIVISION OF SECTIONS 21 AND 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH WEST CORNER OF BLOCK 10 IN REVERSE PARK AFORESAID; THENCE NORTHWESTERLY ON THE WEST LINE OF SAID BLOCK 10, 207.4 FEET; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID BLOCK 10 TO CENTER OF DES PLAINES RIVER; THENCE SOUTHEASTERLY ALONG THE THREAD OF SAID RIVER TO THE NORTH LINE OF SPRINGER STREET AND THE SOUTH LINE OF BLOCK 10 TO THE POINT OF BEGINNING; THENCE WEST ON THE NORTH LINE OF SPRINGER STREET AND THE SOUTH LINE OF BLOCK 10 TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF SPRINGER STREET LYING EAST OF THE EAST RIGHT-OF-WAY OF THE DES PLAINES RIVER ROAD AND WEST OF THE CENTER THREAD OF THE DES PLAINES RIVER AND SOUTH OF THE SOUTH LINE OF BLOCK 10 AND THE SOUTH LINE OF BLOCK 10 EXTENDED EAST IN REVERSE PARK SUBDIVISION OF SECTIONS 21 AND 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 3:
THE SOUTH 100 FEET OF THE NORTH 427 FEET OF THAT PART LYING BETWEEN DES PLAINES ROAD AND CENTER OF DES PLAINES RIVER OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS; EXCEPT THE FOLLOWING TAKEN IN CONDEMNATION CASE NO. 02100446: COMMENCING AT THE NORTHWEST CORNER OF THE ABOVE DESCRIBED TRACT, SAID POINT BEING ON THE EXISTING EASTERLY RIGHT-OF-WAY LINE OF DES PLAINES RIVER ROAD; THENCE ALONG SAID EXISTING RIGHT-OF-WAY LINE ON AN ASSUMED BEARING OF SOUTH 15 DEGREES 20 MINUTES 18 SECONDS EAST 6.59 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EXISTING RIGHT-OF-WAY LINE ON THE SAME BEARING OF SOUTH 15 DEGREES 20 MINUTES 18 SECONDS EAST 45.00 FEET; THENCE SOUTH 74 DEGREES 39 MINUTES 44 SECONDS EAST 3.00 FEET; THENCE NORTH 15 DEGREES 20 MINUTES 18 SECONDS WEST 45.00 FEET; THENCE SOUTH 74 DEGREES 39 MINUTES 44 SECONDS WEST 3.00 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

EXCEPTING FROM THE ABOVE 3 PARCELS THAT PART, FALLING IN DES PLAINES RIVER ROAD

TOTAL LAND AREA = 136,892 sq. ft. (more or less) (3.14 acres more or less)
TOTAL BLDG. AREA (EXTERIOR FOOTPRINT AT GROUND LEVEL) = 8,870 sq. ft.

COMMONLY KNOWN AS: 1885 S. RIVER RD., DES PLAINES, IL 60018
PINS: 09-28-107-008-0000, 09-28-107-009-0000

AGREEMENT FOR STORM WATER DRAINAGE
A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (CITY), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM WATER DRAINAGE, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM WATER DRAINAGE" ON THIS PLAT OF SUBDIVISION. EACH OWNER OF A LOT WITH ANY EASEMENT FOR STORM WATER DRAINAGE LOCATED ON THIS PLAT OF SUBDIVISION SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE EASEMENT FOR STORM WATER DRAINAGE AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNER OF LOTS ON WHICH ANY EASEMENT FOR STORM WATER DRAINAGE LOCATES SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR STORM WATER DRAINAGE AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR STORM WATER DRAINAGE IS IN FULL FORCE AND EFFECT. THE OWNER OF ANY LOT WITH ANY EASEMENT FOR STORM WATER DRAINAGE SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR STORM WATER DRAINAGE AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR STORM WATER DRAINAGE IS IN FULL FORCE AND EFFECT. THE OWNER OF ANY LOT WITH ANY EASEMENT FOR STORM WATER DRAINAGE SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR STORM WATER DRAINAGE AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR STORM WATER DRAINAGE IS IN FULL FORCE AND EFFECT.

AGREEMENT FOR PUBLIC UTILITIES
A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (CITY), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, AND OTHER PUBLIC UTILITIES, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS PLAT OF SUBDIVISION. EACH OWNER OF A LOT WITH ANY EASEMENT FOR PUBLIC UTILITIES LOCATED ON THIS PLAT OF SUBDIVISION SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE EASEMENT FOR PUBLIC UTILITIES AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNER OF LOTS ON WHICH ANY EASEMENT FOR PUBLIC UTILITIES LOCATES SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR PUBLIC UTILITIES AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR PUBLIC UTILITIES IS IN FULL FORCE AND EFFECT. THE OWNER OF ANY LOT WITH ANY EASEMENT FOR PUBLIC UTILITIES SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR PUBLIC UTILITIES AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR PUBLIC UTILITIES IS IN FULL FORCE AND EFFECT.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED.
DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

ORDER NO.: 108661
SCALE: 1" = 30' FEET.
DATE OF FIELD WORK: MARCH 04, 2024
ORDERED BY: MATTHEW J. GARDNER, ATTORNEY AT LAW
REVISION (1) DATE: NOVEMBER 05, 2024
REVISION (2) DATE: APRIL 14, 2025
REVISION (3) DATE: MAY 08, 2025
REVISION (4) DATE: SEPTEMBER 04, 2025

REFER TO #88308 #108316

NOTE:
PUBLIC UTILITY EASEMENTS PROVIDED SHALL BE FOR THE USE OF MUNICIPAL, STATE AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES, LINES FOR ANY CABLE TELEVISION FRANCHISE, GRANTED BY THE CITY, AND OTHER MUNICIPAL USES.

NOTE:
UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM OBSERVABLE PHYSICAL EVIDENCE ON THE SURFACE AND FROM VARIOUS UTILITY COMPANY RECORDS. INFORMATION DERIVED FROM RECORDS IS DEEMED APPROXIMATE. FOR MORE ACCURATE LOCATIONS, FIELD EXCAVATE OR CONTACT RESPECTIVE UTILITY COMPANY.

NOTED:
RECORDED ZONING VARIATION PERMITS UNDER ZONING VARIATION GRANTED UNDER ORDINANCE 24-116-19-MP-CU-V UP ALONG THE CONSTRUCTION AND OPERATION OF A DAY CARE AND SCHOOL ON LOT 1 DEDICATED JUNE 1, 2025.

AGREEMENT FOR STORM SEWER
A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (CITY), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS PLAT OF SUBDIVISION. EACH OWNER OF A LOT WITH ANY EASEMENT FOR STORM SEWER LOCATED ON THIS PLAT OF SUBDIVISION SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE EASEMENT FOR STORM SEWER AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNER OF LOTS ON WHICH ANY EASEMENT FOR STORM SEWER LOCATES SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR STORM SEWER AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR STORM SEWER IS IN FULL FORCE AND EFFECT. THE OWNER OF ANY LOT WITH ANY EASEMENT FOR STORM SEWER SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE EASEMENT FOR STORM SEWER AT ANY TIME UNLESS SO LONG AS THE EASEMENT FOR STORM SEWER IS IN FULL FORCE AND EFFECT.