

RESIDENTIAL DETACHED GARAGES

Application Submittal:

Building permits must be applied for online through the [Customer Self Service Portal](#). In the portal select apply and search for "Accessory Structure – Garage (Residential)".

- ✓ All applications must include a set of construction plans and a site plan on a current Plat of Survey.
- ✓ The new garage must be located on the plat and include the distance from property lines and dimensions of garage. Drawing must be to scale.
- ✓ All contractors listed on the application must be registered with the city before the permit can be issued.

Key Requirements:

General notes regarding garage construction:

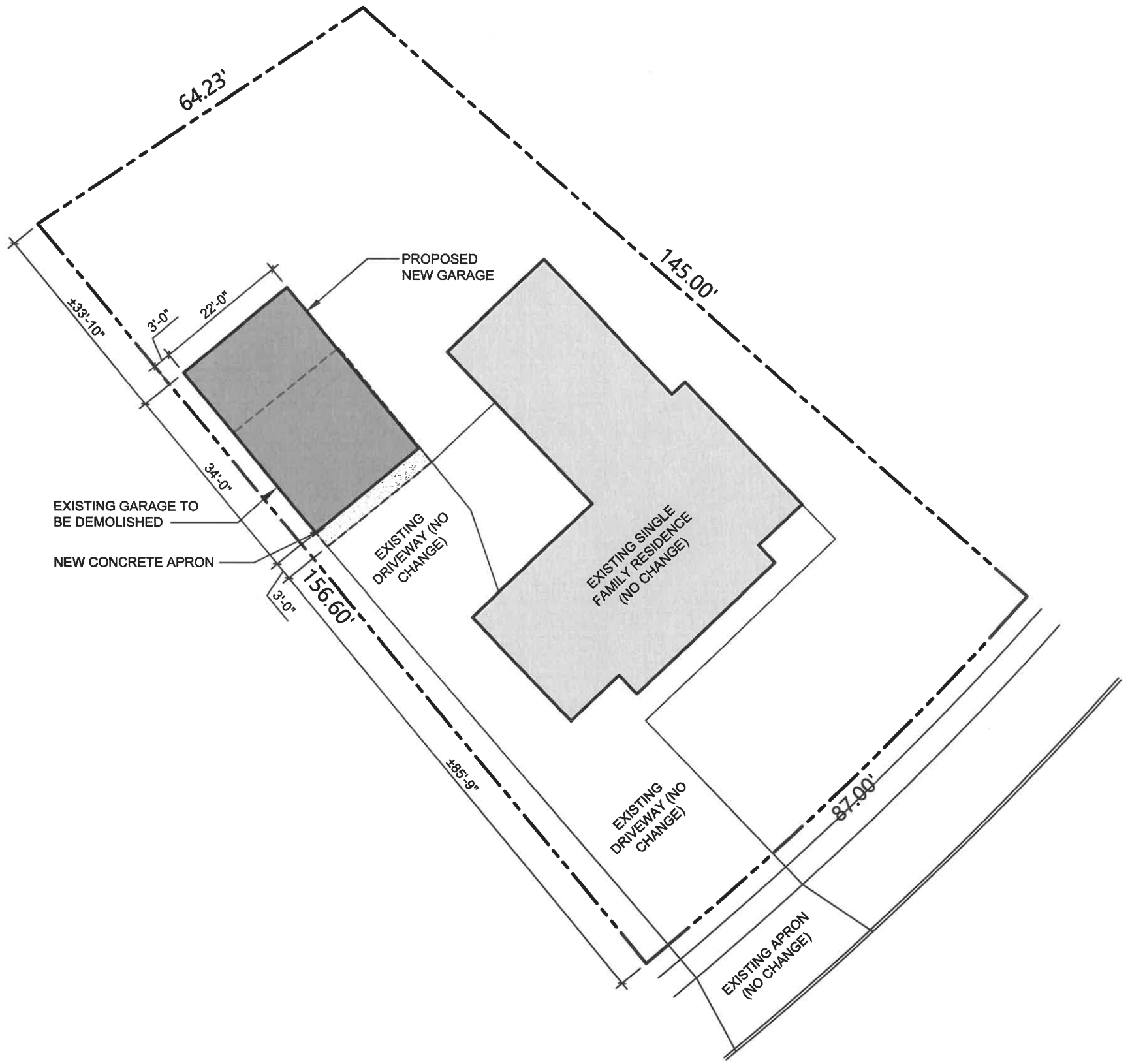
- Garage walls must be five feet (5') from property lines and not in any easement,
- Garages in R-1 and R-2 may be placed on the alley without setback; all other zoning districts require a five-foot (5') setback from alley.
- Concrete slab shall be 4" minimum, 6 bag mix on a minimum of 6" bed of CA-6 gravel. Wire mesh is not required for slab or driveway and not allowed on City property (apron).
- Electric required in all garages. See sample drawing for details.
- The maximum size for detached garages is 720 sq. feet.
- The overall height of an accessory structure shall not exceed 15 feet, and not higher than the principal home.
- Combination of all sheds and garages shall not exceed 50% of the required rear yard.
- The overall height can be calculated as follows.

Measure from grade at front of structure to either:

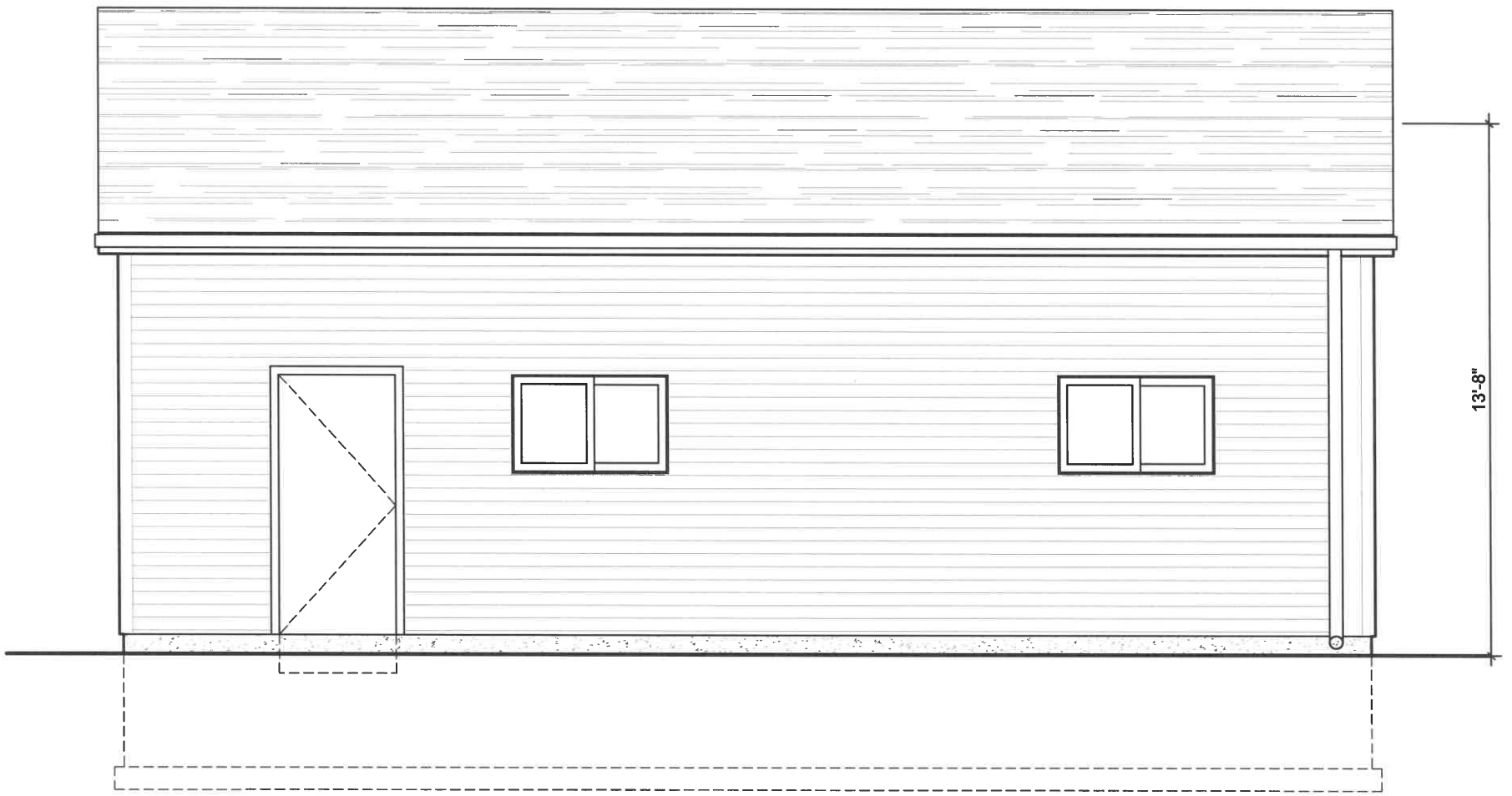
- The highest point of a flat or shed roof.
 - The deck level of a mansard roof.
 - The (average) mid-point between eave edge and ridge.
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- All Garages must have hard surface driveways on both public and private property. Driveway work may be included in this permit application. See the DRIVEWAY sheet for more information.
 - If an existing garage is to be demolished, a demolition permit is required. See details in DEMOLITION package. Inspection to verify removal of old garage is required before permit for new garage is issued.
 - Call JULIE, joint utility Locating Information and Excavators, at 1-800-892-0123 for utility line information. JULIE is a free service.

Be advised that the above-mentioned are **guidelines**. Each permit is treated individually, and certain other requirements may apply. Once this information is submitted a correct determination can be made.

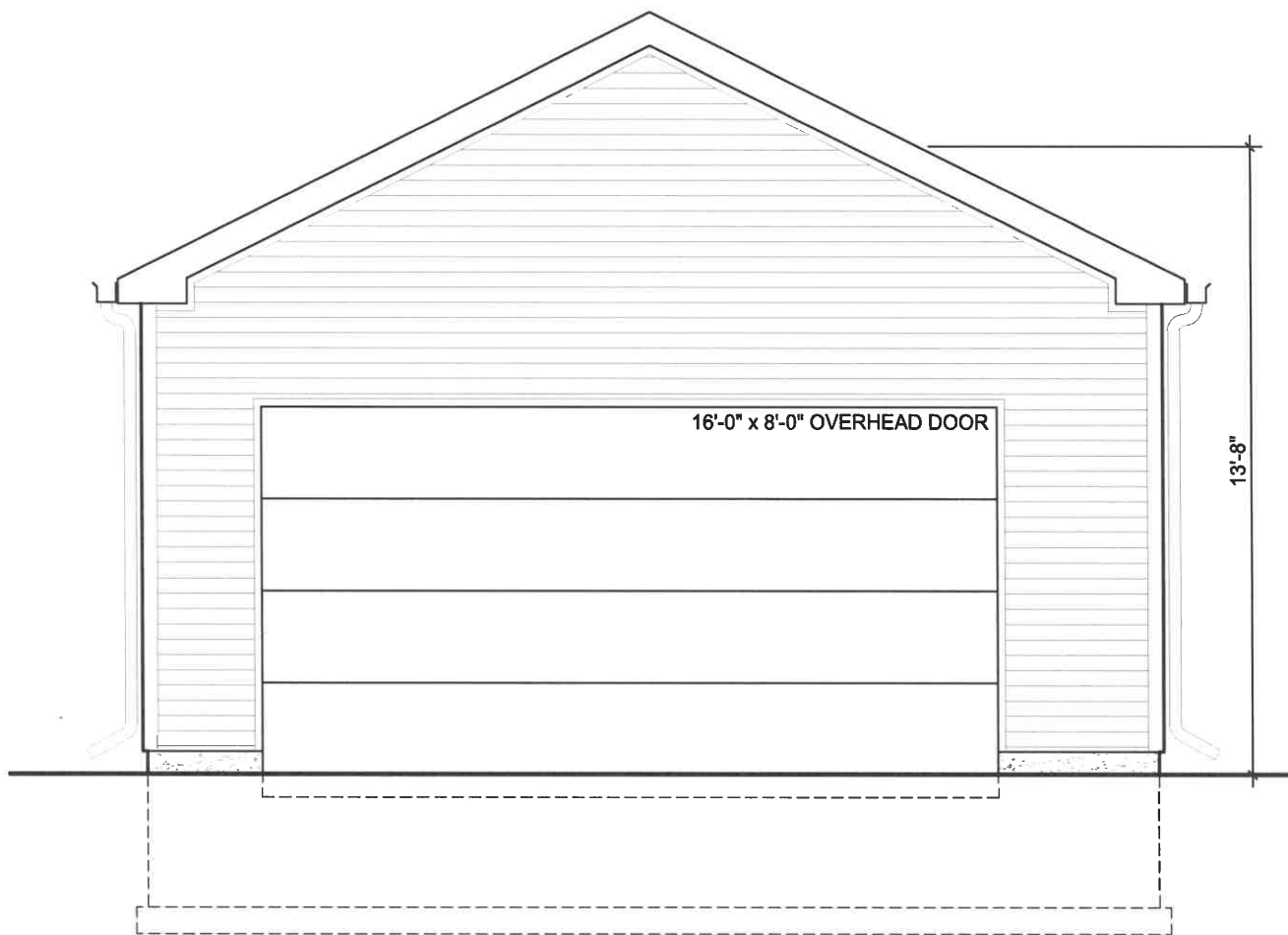
Any exceptions to the above may require a variation.



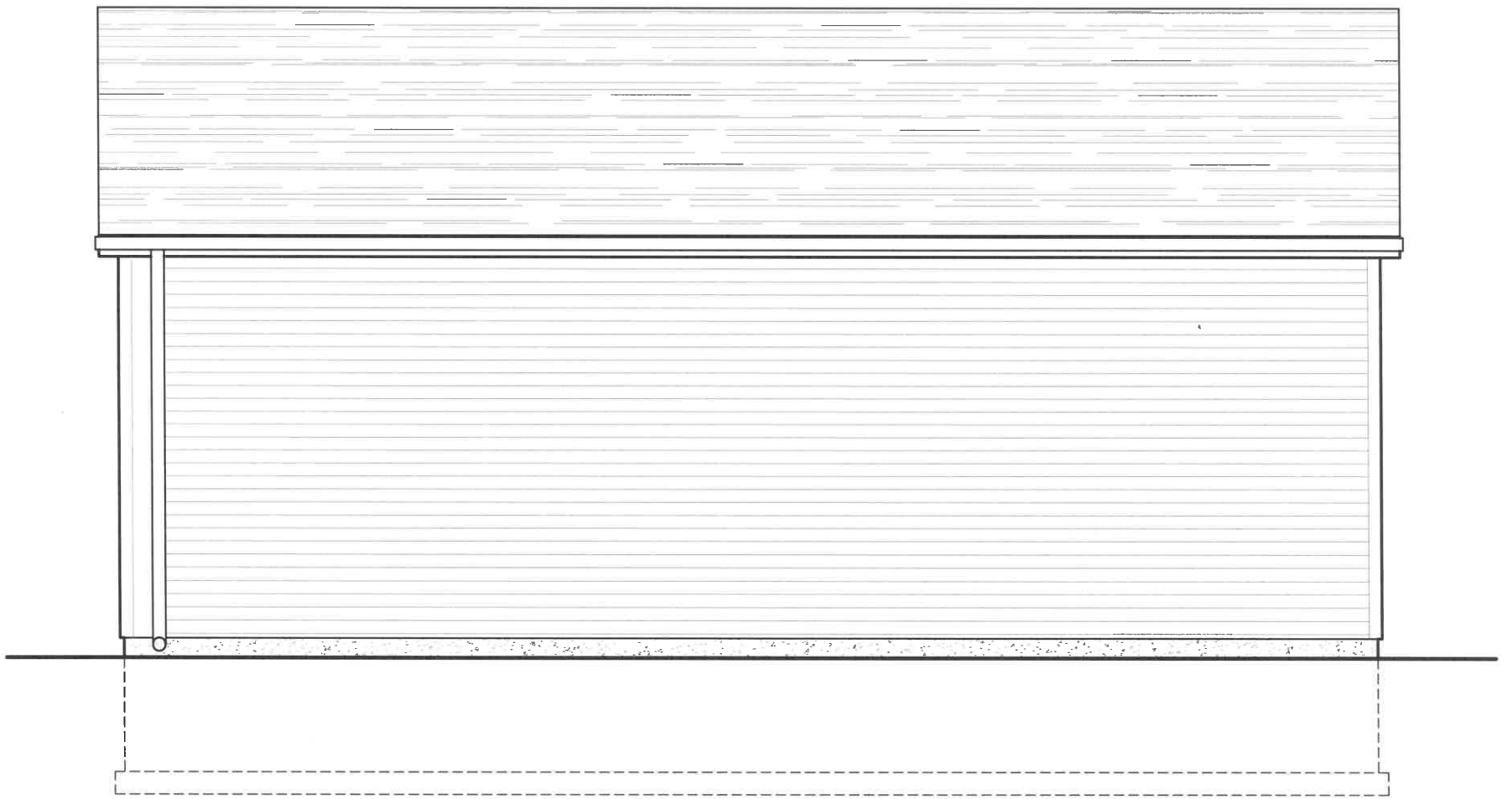
① SITE PLAN
1" = 20'-0"



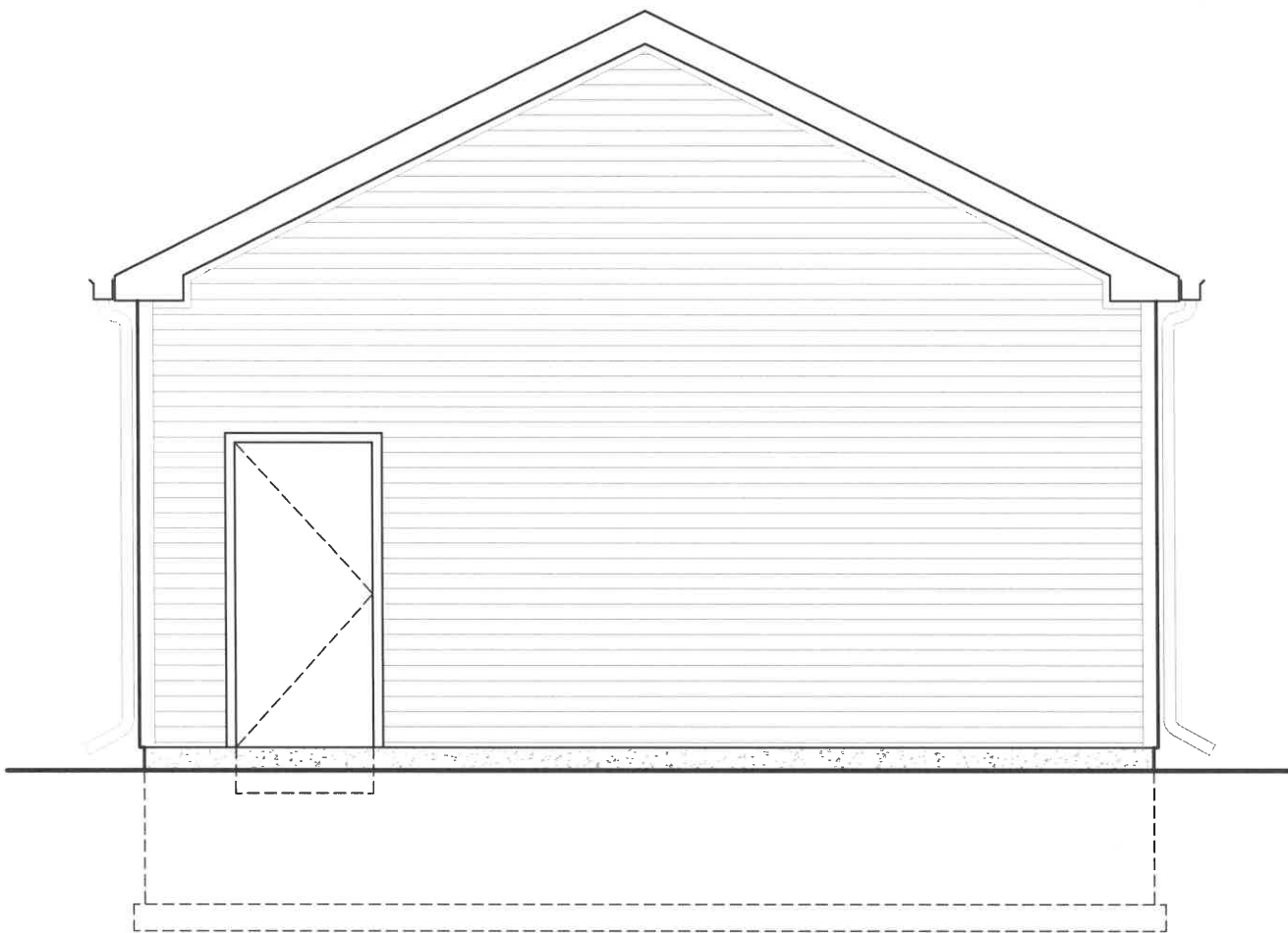
② SIDE ELEVATION
1/4"=1'-0"



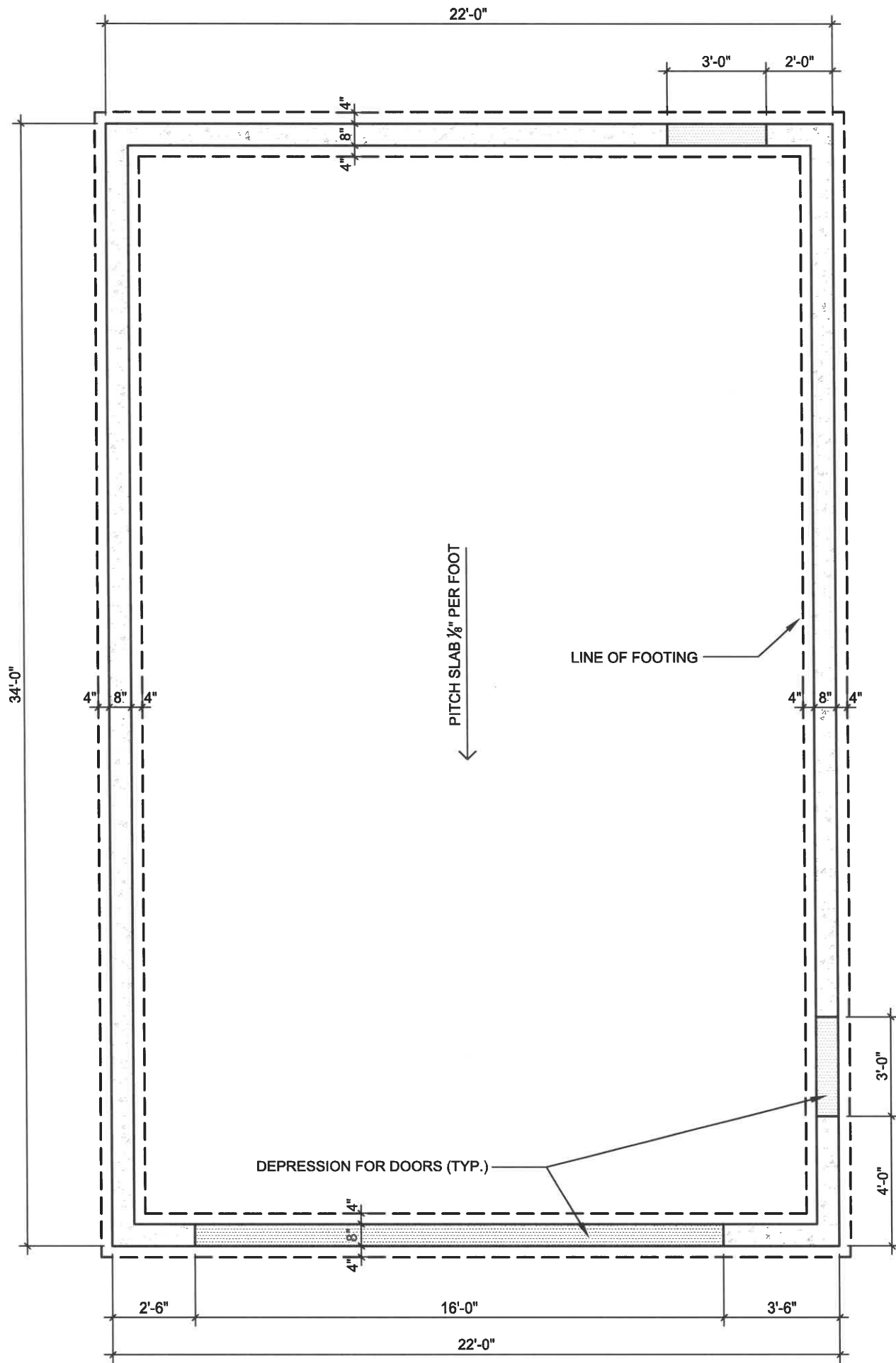
① FRONT ELEVATION
1/4"=1'-0"



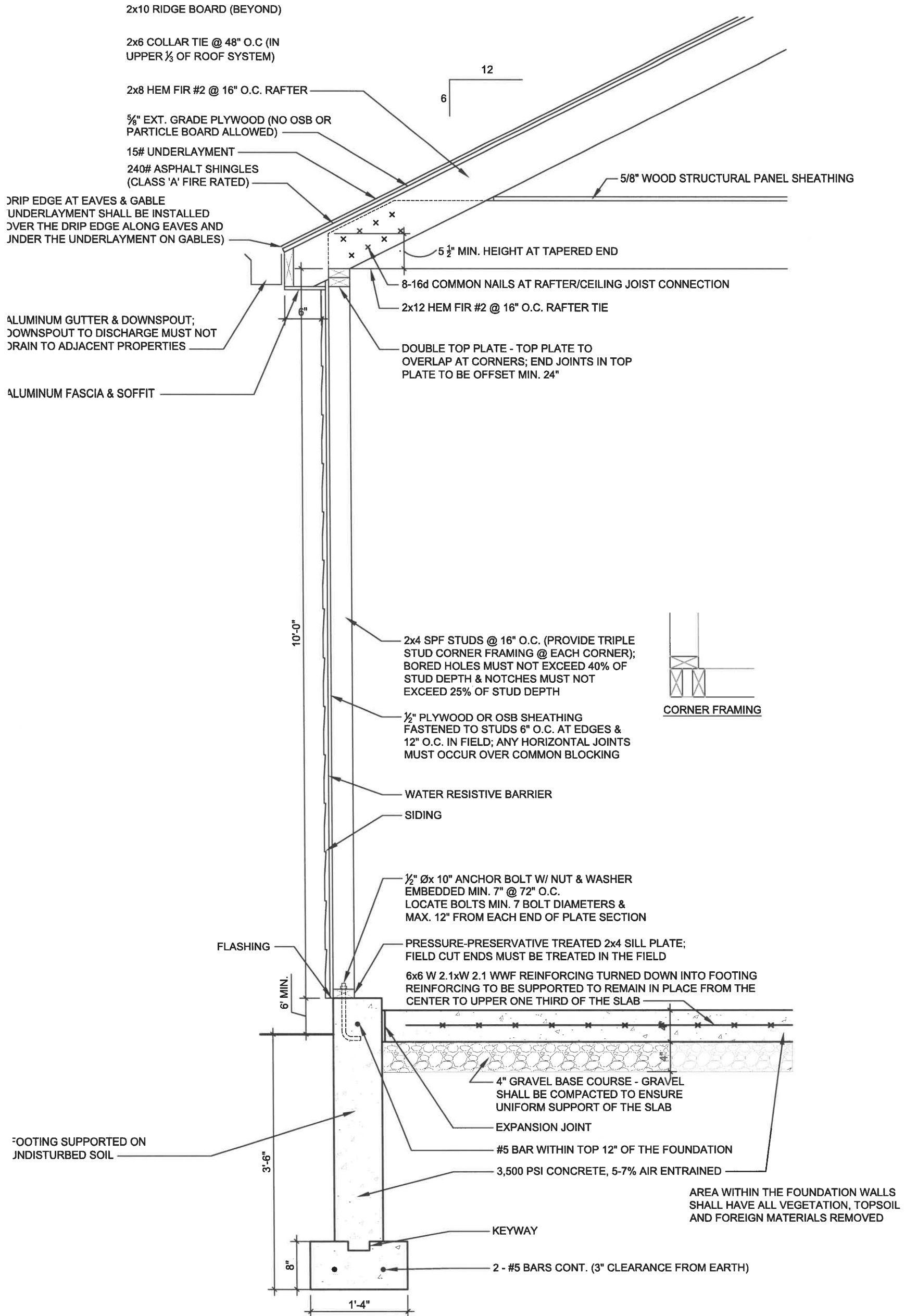
④ SIDE ELEVATION
1/4"=1'-0"



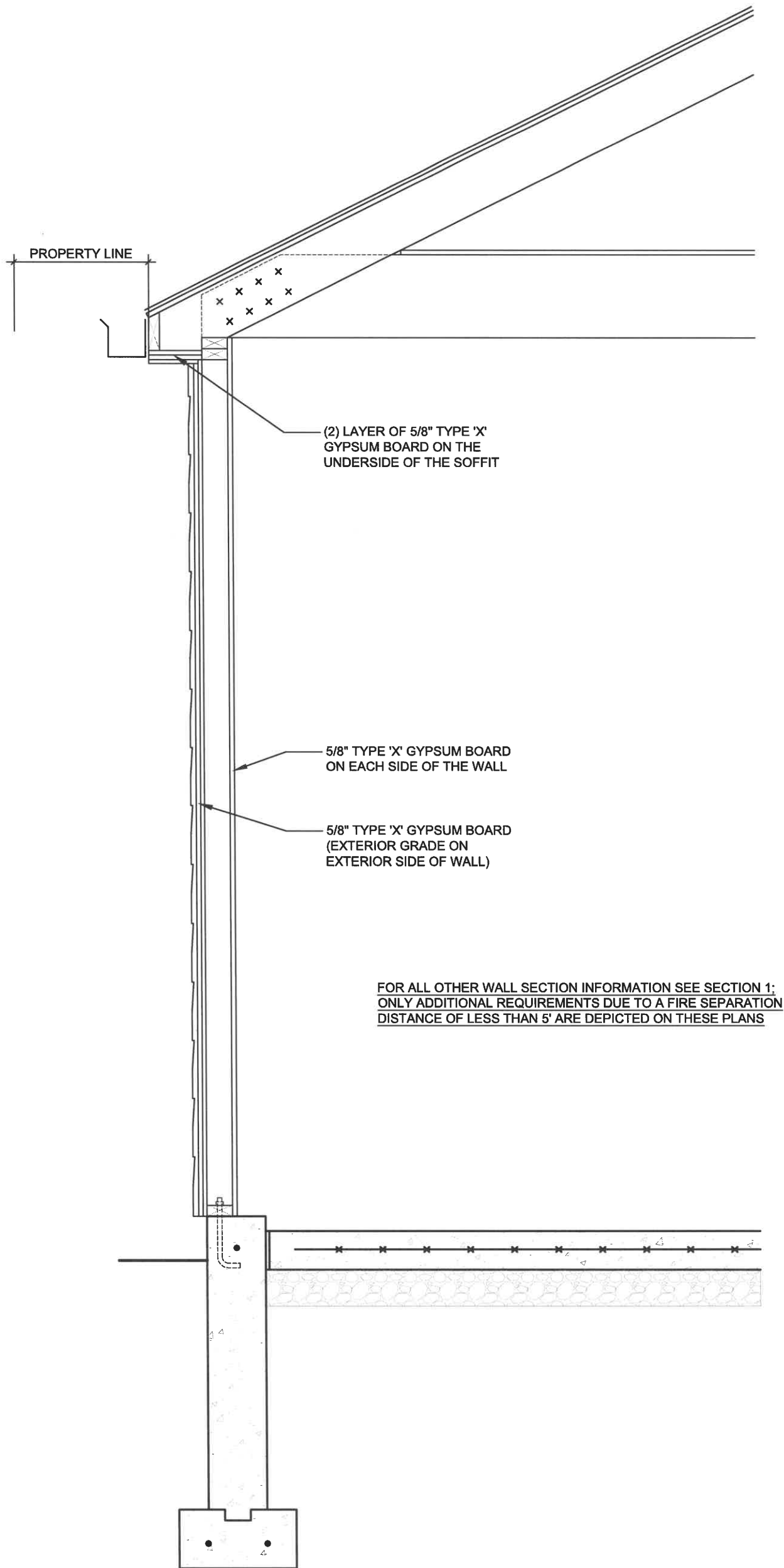
① REAR ELEVATION
1/4"=1'-0"



① FOUNDATION PLAN
 1/4" = 1'-0"



① WALL SECTION - WHERE WALL IS 5' OR MORE FROM PROPERTY LINE
 3/4"=1'-0"



FOR ALL OTHER WALL SECTION INFORMATION SEE SECTION 1;
 ONLY ADDITIONAL REQUIREMENTS DUE TO A FIRE SEPARATION
 DISTANCE OF LESS THAN 5' ARE DEPICTED ON THESE PLANS

② WALL SECTION - WHERE WALL IS LESS THAN 5' FROM PROPERTY LINE
 3/4" = 1'-0"